CITY OF AVON LAKE
PLANNING COMMISSION
150 Avon Belden Road
Avon Lake, Ohio 44012
(440) 930-4110

Voting Order
M. Spaetzel
R. Haas
J. Leitch
H. Ma
S. Orille
C. Raymond
G. Smith

AGENDA
Tuesday, June 3, 2025
7:00 PM
City Council Chambers

ROLL CALL:
Mr. Haas, Mr. Leitch, Dr. Ma, Mr. Orille, Mrs. Raymond, Mr. Smith, Mayor Spaetzel, Director of Law Ebert, Engineer Howard, Community Development Director Esborn, and Planning and Zoning Manager La Rosa.

1. APPROVAL OF MAY 6, 2025, MEETING MINUTES

2. GENERAL CORRESPONDENCE/ANNOUNCEMENTS

3. COUNCIL REPORT

4. SWEARING IN PUBLIC COMMENTORS

5. NEW CASES:

Case No. CPC-24-18, MDC Ventures LLC, Site Plan Approval for the Construction of a New Corporate Office at 32870 Pin Oak Parkway.

Applicable Code Section: 1214.06 Site Plans apply.

Case No. CPC-25-6, Legacy Pointe LTD, Major Subdivision Preliminary Plan Approval for Avon Center Estates No. 2, Phase VI, located in the southwest quadrant of Avon Lake.

Applicable Code Sections: 1214.05: Major Subdivision and 1238: Subdivision Design Standards apply.

Case No. CPC-25-7, Pulte Homes of Ohio, LLC, Major Subdivision, Final Plat Approval for Sandridge Run Subdivision located on the west side of Avon Belden Road on parcel number 04-00-017-101-066 and 04-00-017-101-090.

Applicable Code Sections: 1214.05: Major Subdivision and 1238: Subdivision Design Standards apply.

Case No. CPC-25-8, Pulte Homes of Ohio LLC, Major Subdivision Final Plat Approval for Port Side Townhouse Subdivision situated along Rock Harbor and South Port Drive.

Applicable Code Sections: 1214.05: Major Subdivision and 1238: Subdivision Design Standards apply.

6. OTHER BUSINESS

7. GENERAL PUBLIC COMMENT

8. ADJOURNMENT

The next regular meeting of the Planning Commission is Tuesday, July 1, 2025.

MINUTES OF THE AVON LAKE PLANNING COMMISSION MEETING May 6, 2025

A regular meeting of the Avon Lake Planning Commission was called to order on May 6, 2025, at 7:00 P.M. in Council Chambers with Chairperson Ma presiding.

ROLL CALL

Present for the roll call were Dr. Ma, Mr. Leitch, Mr. Orille, Mrs. Raymond, Mr. Smith, Mayor Spaetzel, Director of Law Ebert, City Engineer Howard, Community Development Director Esborn, and Planning and Zoning Manager LaRosa.

APPROVAL OF MINUTES

Mayor Spaetzel moved, and Mrs. Raymond seconded approval of the April 1, 2025, meeting minutes as presented. Motion carried (5-0), with Dr. Ma abstaining.

GENERAL CORRESPONDENCE & ANNOUNCEMENTS

There were no general correspondence or announcements presented or addressed at this meeting.

COUNCIL REPORT

Mr. Smith noted that the upcoming City Council vote on the rezoning near SR 83 and Walker Road has been the subject of considerable discussion and high public turnout at previous meetings, with many residents voicing concerns about increased traffic. He reported receiving correspondence both in favor of and against the project. The final vote is scheduled for next Monday.

SWEARING IN PUBLIC COMMENTORS

Director of Law Ebert swore in applicants and members of the audience who planned to speak to items on the agenda.

NEW CASES

Case No. CPC-25-5, Las Margaritas Mexican Restaurant, Site Plan Approval for the Construction of a New Outdoor Patio located at 519 Avon Belden Road. Applicable Code Section: 1214.06 Site Plans apply.

The applicant, represented by Seth Moyer and Bob Bajho, presented a site plan for the construction of a new outdoor patio at Las Margaritas Mexican Restaurant, located at 519 Avon Belden Road.

The proposal includes:

- Installation of a covered outdoor dining patio with 29 seats
- Reduction of parking spaces from 48 to 45, maintaining 2 ADA-compliant spaces
- Reconfiguration of patio access through the main entrance or an exterior route

- Inclusion of a gate to fully enclose the patio, in compliance with liquor control requirements
- Addition of protective bollards and decorative planters around the patio perimeter
- Patio amenities including a small back bar, ceiling-mounted TV, string lighting, and Spanish tile finishes

Commission members asked questions regarding ADA accessibility, the placement of the western accessible parking space, ambient noise from TVs or music, lighting, and the height and visibility of the patio structure. The applicant confirmed that sound would be minimal, and lighting would be limited to ambient string lights. Commissioners discussed potentially relocating the western ADA space for improved access and adding curb extensions for additional separation from vehicles.

The applicant indicated an intent to begin construction in the summer of 2025, pending plan approval and preparation of construction documents.

There were no objections from the Fire or Police Departments, and the Development Review Committee's comments regarding the patio enclosure and bollards were addressed.

Mrs. Raymond moved, and Mr. Leitch seconded approval of the site plan application for Las Margaritas' outdoor patio as submitted. Motion carried, (6-0).

Case No. CTA-25-1: Planning and Zoning Code Text Amendments. Applicable Code Section 1214.02 on Code Text and Map Amendments applies.

Mr. Esborn provided a brief overview, noting that the proposed text amendments were originally introduced in January and have remained largely unchanged since then. The amendments were previously discussed with Commission members, and no further presentation was made.

Mrs. Raymond raised a question about the proposed driveway width limitation and its applicability to townhome developments with private streets. Staff clarified that the limitation would generally not impact such developments due to their differing layout and standards.

Further discussion occurred regarding nonresidential corner lot setbacks, recommended change #2, which addresses front yard setbacks for non-residential corner lots. Staff and Commission members agreed that the current code places corner lot owners at a disadvantage by requiring two front yard setbacks. To address this, the proposed change would allow the front yard setback adjoining the secondary street to be reduced to 30 feet, offering more flexibility without compromising design intent. It was clarified that this would be noted as an exception in the applicable zoning table, consistent with how other exceptions are handled.

Mrs. Raymond moved, and Mr. Leitch seconded the recommendation to the City Council for approval of Case No. CPA-25-01, subject to the condition that the language in recommended change #11 regarding non-residential corner lot setbacks be modified to state: "The front yard setback adjoining the secondary street may be reduced to 30 feet." Motion carried, (6-0).

OTHER BUSINESS

2025 Proposed Planning Commission Rules and Regulations Amendments to Article VI

Mr. Esborn introduced the proposed amendments to the Planning Commission's Rules and Regulations, explaining that the changes are intended to align the document with the City's current application and review processes. He noted that since December 2023, the City has transitioned to using OpenGov, an enterprise software system for digital application submissions. Additionally, the Development Review Committee (DRC), which was formalized in the Planning and Zoning Code adopted in 2022, plays an integral role in the review process. The amendments reflect both the implementation of OpenGov and the procedural structure introduced with the DRC.

Commission members discussed the following points:

- **Staff Training:** Mr. Esborn confirmed that city staff including Community Development, Building, Engineering, and Public Works have received extensive training over the past two years, logging in significant hours for OpenGov system use and support.
- **Applicant Usability:** No major issues have been reported from applicants. Staff offered in-person assistance when the platform launched, but such assistance has not been needed.
- **Downtime Procedures:** Mr. Esborn explained that temporary outages would not significantly disrupt Planning Commission workflows, as application reviews typically extend over several weeks. The impact would be more pronounced in departments with daily permitting and inspection needs.

Mrs. Raymond moved, and Mr. Letich seconded to adopt the proposed amendments to Article VI of the Planning Commission Rules and Regulations, as presented by the Community Development Department, to reflect the City's transition to a digital application and review process and to clarify current procedural practices. Motion carried, (6-0).

DISCUSSION ITEM

There were no discussion items presented or addressed at this meeting.

GENERAL PUBLIC COMMENTS

Gerald Phillips (Avon Lake) – Mr. Phillips spoke in opposition to the proposed rezoning at the corner of Walker Road and SR 83. He stated that the development does not comply with the Avon Lake Comprehensive Plan, specifically referencing inconsistencies with the Town Center Focus Area outlined on pages 75–77 of the plan. He cited concerns that the proposed residential use contradicts the plan's vision for mixed-use commercial development at key corners of the intersection. Mr. Phillips also referenced potential violations of zoning code sections 1218.04 and 1218.05, questioning the legality of the rezoning decision previously approved by the Commission.

William Zimmerman (Avon Lake) – Mr. Zimmerman echoed Mr. Phillips' concerns and criticized the Planning Commission for not adhering to the comprehensive plan. He noted the proposed development is located several hundred feet outside the designated Town Center area and expressed frustration over what he perceived as inconsistent decision-making, citing past developments including Smuggler's Cove and Lear/Walker Road. He raised concerns about spot zoning, developer favoritism, and called for greater accountability in following zoning regulations.

Diane Neuluns (Avon Lake) – Mrs. Neuluns raised concerns about high-density housing being built too close to existing homes. She inquired about the required side yard setback between her property and the new development, expressing that the proximity did not reflect the traditional character of Avon Lake. Staff responded that the applicable side yard setback would likely be 20 feet under current zoning, but they would follow up with specific details depending on the district involved.

ADJOURNMENT

Mr. Orille moved, and Mayor Spaetzel seconded to adjourn the meeting at 7:45 pm. Motion carried, (6-0).

Planning Commission Chairperson Ma	Recording Secretary Kelly La Rosa

MDC VENTURES LLC – SITE PLAN

Report

To: Avon Lake Planning Commission

From: Kelly La Rosa, Planning and Zoning Manager

Date: May 29, 2025

Re: Case No. CPC-24-18, MDC Ventures LLC, Site Plan Approval for the Construction of a New Corporate Office at 32870 Pin Oak Parkway.

PROJECT OVERVIEW

MDC Ventures LLC, represented by Dr. Chris Tomshack, founder and CEO of HealthSource Chiropractic LLC and Apex Longevity LLC has submitted a site plan application for an 8,535-square-foot office building. The project involves the development of a new corporate office facility at 32870 Pin Oak Parkway, which will serve as the headquarters for both companies. Located on a corner parcel at the intersection of Commerce and Pin Oak Parkway, the new building will support continued growth by consolidating operations, housing existing staff, and accommodating anticipated job expansion.

Figure1: Maps Data: Google Earth 6/2/2015

PROJECT DESCRIPTION

The project involves the construction of an 8,535-square-foot post-frame office building on a one-acre site, with a 25-space asphalt parking lot providing access from both Commerce and Pin Oak Parkway. The building will house the headquarters for two businesses founded and led by Dr. Chris Tomshack: HealthSource Chiropractic, a national franchise organization with over 135 open clinics; and Apex Longevity, a Discount Medical Plan Organization servicing chiropractic and physical therapy practices across 49 states. Approximately 10 new jobs are anticipated to be added in Avon Lake over the next 18–24 months, contributing to local economic growth.

Zoning Map: The subject property is situated within the I-1 (Light Industrial) District, consistent with the zoning of the surrounding parcels. The proposed development will serve as the corporate headquarters for HealthSource Chiropractic and Apex Longevity, aligning with the district's intent to accommodate low- to moderate-intensity uses such as professional offices, warehousing, and clean manufacturing. These uses are anticipated to operate with minimal noise, odor, or traffic impact. The proposed building will be fully enclosed, include landscaped buffering, and provide coordinated access from both Commerce and Pin Oak Parkway, reflecting the district's standards for safe, functional, and visually compatible site design. The project supports local economic growth while maintaining compatibility with its surroundings.

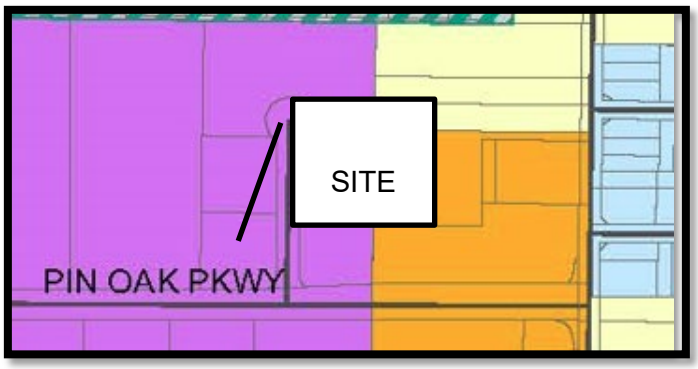


Figure 2: Excerpt Avon Lake Zoning Map

Land Use: The Future Land Use Map designates this site as Industrial, which is consistent with the proposed development. This classification is intended for light industrial activities, including warehousing, packaging, clean manufacturing, and related office operations.

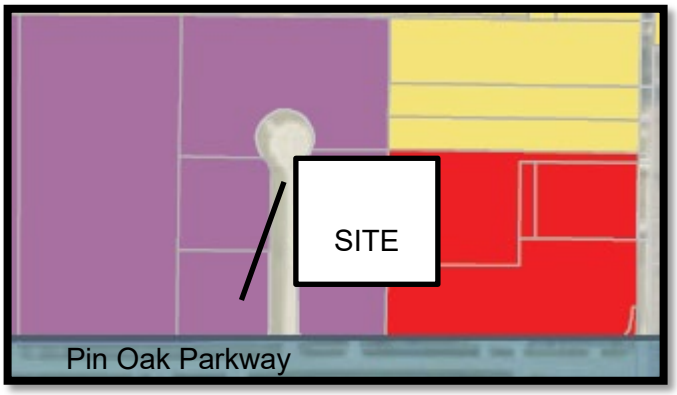


Figure 3: Excerpt Avon Lake Comprehensive Plan

The administrative and operational functions of HealthSource Chiropractic and Apex Longevity are appropriate for this designation. Located among similar industrial and commercial uses, the site benefits from natural capability and sufficient separation from nearby residential areas, meeting the Comprehensive Plan's goals for land use and buffering.

Applicable Code Section: 1214.06 Site Plans apply.

PROJECT ANALYSIS

The proposed development is located within the I-1 (Light Industrial) zoning district, which permits office and commercial uses consistent with surrounding properties. The site, positioned on a corner lot at Commerce and Pin Oak Parkway, was originally subject to dual 60-foot front yard setbacks under the current zoning code. However, an area variance (CAV 24-38) approved by the Zoning Board of Appeals on December 11, 2024, reduced the required setback along Commerce Parkway to 25 feet. The property has been designated for development since its original platting, aligning with the city's long-range land use goals.

The site plan reflects a moderate-intensity development, with the proposed 8,535-square-foot building covering approximately 46.3% of the total one-acre site. While the design remains within the 75% maximum lot coverage permitted in the I-1 District, the building footprint reflects a compact site layout that emphasizes efficient land use and consolidation of operations.

Stormwater impacts are expected to remain within the capacity of the existing detention infrastructure planned at the time of subdivision, pending final engineering confirmation. photometric lighting plan with light poles not to exceed a height of 30', as well as utility easements, and tap fee considerations have been incorporated into the site design to ensure compliance with infrastructure and service requirements.

In light of these considerations, the project remains consistent with the zoning code and the city's planning objectives. Ongoing coordination will be required to address long-term development potential and to resolve any issues related to existing easements and site constraints.

Note: Staff identified a minor discrepancy between the architectural and engineering drawings related to building square footage and parking count. The architectural plans list the building at 8,535 square feet with 25 parking spaces, while the engineering drawings reflect a slightly smaller footprint with 26 spaces. This difference does not materially affect the project's zoning compliance, but the applicant should clarify which plan is final and ensure consistency before permit issuance.

SUSTAINABILITY CONSIDERATIONS

From a sustainability perspective, the minimal building footprint and use of previously planned infrastructure support low-impact development goals. Additionally, relocating corporate operations to Avon Lake—closer to the Tomshack residence—helps reduce commuting distances,

supports local employment and contributes to lower regional emissions. Overall, the project is consistent with zoning, planning, and environmental performance objectives.

DEVELOPMENT REVIEW COMMITTEE

The Development Review Committee comprises representatives from Community Development, Engineering, Building, Public Works, Avon Lake Regional Water, Fire, and Police departments. All responses received to date are included in the attachments.

REVIEW CRITERIA AND COMMISSION ACTION

To approve the site plan, the Commission must determine that it meets all applicable standards as outlined in Section 1214.06 of the Avon Lake Planning and Zoning Code. The following criteria shall be considered:

(1) The proposed development is consistent with all the requirements of this code and other related codes and ordinances of the City;
(2) It complies with the applicable zoning district regulations;
(3) It complies with any established standards or requirements in the approved comprehensive land use plan or thoroughfare plan;
(4) It meets all the requirements or conditions of any applicable development approvals (e.g., previously approved planned developments, conditional use approvals, variance approvals, etc.);
(5) It will result in a harmonious grouping of buildings within the proposed development and in relationship to existing and proposed uses on adjacent property;
(6) It will preserve and be sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations outlined in this code;
(7) Adequate provision is made for safe and efficient pedestrian and vehicular circulation within the site and to adjacent property;
(8) It will provide adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas;
(9) Upon review and recommendation of the Code Administrator, points of ingress/egress to the development shall be controlled and designed in such manner as to minimize conflicts with adjacent properties and developments;
(10) Adequate provision is made for emergency vehicle access and circulation; and
(11) If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing criteria are complied with after each stage.

Following its review, the Commission shall decide to approve, approve with conditions, or if the Commission determines that the application does not meet one or more of the criteria listed above, it may recommend denial. In such cases, the Commission must identify which criteria were not satisfied and explain the basis for that determination.

Potential Motion: A motion must be made in the affirmative. A minimum of four "yes" votes to approve or "no" votes to reject the application is required to take action on the application. The sample motion provided below is for guidance only and does not imply a recommendation or predetermined outcome.

> I move to approve Case No. CPC-24-18, MDC Ventures LLC, Site Plan for the Construction of a New Corporate Office at 32870 Pin Oak Parkway, as submitted
>
> Or subject to the following conditions:
>
> _____
>
> _____

SUBSEQUENT ACTION

Based on approval from the Planning Commission, this plan may proceed to the Building Department for permit submission. If approved outright, no further action is needed. If approved with conditions, all specified conditions must be satisfactorily addressed before proceeding.

ATTACHMENTS

- Planning Commission Application
- DRC Comments

CPC-24-18

Planning Commission Application

Status: Active

Submitted On: 11/11/2024

Primary Location

32870 PIN OAK PKWY
AVON LAKE, OH 44012

Owner

MDC VENTURES LLC
571 TURNBERRY CT AVON LAKE, OH 44012

Applicant

Hannah Carter
419-663-0885 ext. 605
hannah@contractorsdesigneng.com
4853 State Route 601
Norwalk, Ohio 44857

Property or Parcel Information

Zoning Classification

I1-Light Industrial

Present Use*

Vacant

Type of Request*

Site Plan

General Description of Project*

Our client is requesting to build a 5400 SF post-frame office building with an asphalt parking area accomodating 25 parking spaces.

Have you had your meeting with the Development Review Committee?*

Yes

Applicant Information

Applicant is the Property Owner or Property Owner's Designee.
Project Manager will be the person working closest with the plans and will be the main point of contact for the Planning Department's questions.

Applicant Role*

Property Owner

Applicant Name*

Chris Tomshack

Address*

4299 Burberry Circle

City*

Avon

State*

Ohio

Zip*

44011

Phone*

(440) 934-5858

Email*

ctomshack@gmail.com

Project Manager

Hannah Carter

Project Manager Phone

419-663-0885

Project Manager Email

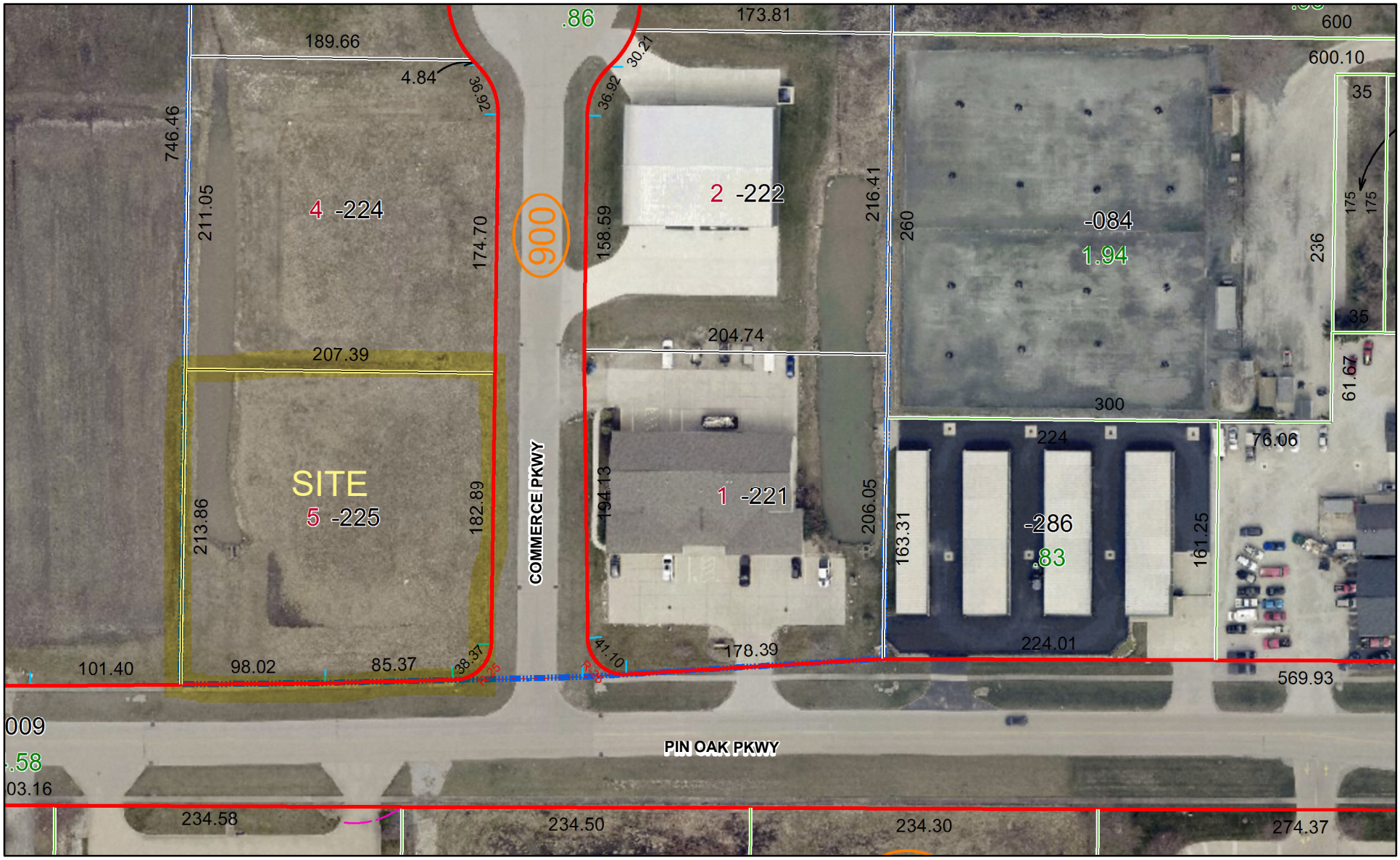
hannah@contractorsdesigneng.com

Signature

Applicant Signature*

Hannah Carter
Nov 11, 2024

J. Craig Snodgrass, CPA, CGFM
Lorain County Auditor



November 11, 2024 3:53:46 PM

1 inch = 94 feet

0 50 100 200 ft

Legend

Boundaries

- Sublot Line
- Parcel Line
- Right-of-way Line
- Right-of-way Parcel Line
- Road Centerlines
- Subdivisions/...
- Right of Ways
- Parcels_Black

801 Moore Road • Avon, Ohio 44011 • 440/934-7878 • Fax 440/934-7879

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BRAMHALL
ENGINEERING &
SURVEYING COMPANY

May 28, 2025

Ted Esborn
Community Development Director
City of Avon Lake
150 Avon Belden Road
Avon Lake, Ohio 44012

Reference: Improvement Plans for Proposed Tomshack Building
32870 Pin Oak Parkway

Mr. Esborn:

On behalf of the City of Avon Lake we have reviewed the Improvement Plans submitted for the proposed Tomshack Building at 32870 Pin Oak Parkway, as prepared by Contractors Design Engineering, and offer the following comments:

1. The existing sidewalk along Pin Oak Parkway frontage needs to be removed and replaced. Also, a sidewalk along the frontage of Commerce Parkway needs to be installed.

2. Recommend installing wheel stops along the parking stalls facing Pin Oak Parkway.

3. The maximum grade, in all directions, for a handicap parking spot is 2.0%. Double check proposed grades.

4. Water and sanitary sewer service will require review/approval by ALRW.

5. Recommend the Applicant install concrete drive aprons within the Right-of-Way (6" thick concrete over 4" aggregate base).

6. Has permission been granted to install the dumpster within the existing storm sewer LOA.

7. The proposed inlet pipe to the existing Stormwater Management Facility needs to be moved further north away from the outlet structure.

8. The proposed Storm Sewer Calculations are still being reviewed. Additional comments will be forthcoming.

9. See attached Stormwater Pollution Prevention Plan Checklist.

If you have any questions, please call.

Sincerely,

BRAMHALL ENGINEERING & SURVEYING CO.
City of Avon Lake Consulting Engineers

Christopher L. Howard, P.E., CPESC
City Engineer

Storm Water Pollution Prevention Plan Checklist

City of Avon Lake

Project Name: Proposed Tomshack Building – 32870 Pin Oak Parkway	
SWP3 Reviewer: CLH	**Date Reviewed: 5/28/25**

Stormwater Pollution Prevention Review Checklist				
	Review No. 1	**Review No. 2**	**Review No. 3**	**Comments**
Site Information				
Contact Information for Owner (Name, Phone Number, Address, and email)	X			Needs to be provided.
Contact Information for Site Operator (Name, Phone Number, Address, and email)	X			Needs to be provided.
Contact Information for Person Responsible for SWP3 Preparation and Modifications (Name, Phone Number, Address, and email)	X			
Title Sheet/Cover Page showing Project Title and Location	√			
Stormwater Pollution Prevention Plan Preparation Date	√			
Start and Stop Dates of Construction	X			Needs to be provided.
Description of the nature and type of construction	√			
Prior Land Use description	√			
Total Area of the Site	√			
Total Area of the Site to be Disturbed	√			
Area of Existing Impervious Area (Including Runoff Coefficient)	√			
Area of Proposed Imperious Area (Including Runoff Coefficient)	√			
Percent Increase of Imperviousness created by Project	X			Needs to be provided.
Soil Types present within Site Area (With Descriptions)	√			
List of Known Pollutant Discharge	N/A			
Description of onsite streams (e.g., prior channelization, bed instability or headcuts, channels on public maintenance, or natural channels).	N/A			
Name/Location of immediate receiving water and first subsequent receiving water. (If discharges to MS4 then list the ultimate discharge point of the MS4)	√			
Description and Rationalization of Post Construction BMP's (list existing post-construction BMP's if applicable)	√			
Post Construction Water Quality Calculations	√			Existing Basin Facility.
Grading and Stabilization Log	X			Needs to be provided.
SWP3 Amendment Log	X			Needs to be provided.
List of Contractors (including form/log for signatures)	X			Needs to be added once contractor(s) chosen.
Implementation schedule that describes the sequence of major construction activities	√			
Ohio EPA NPDES Construction General Permit Number (If disturbed area is greater then 1 acre)	N/A			Less than 1.0 acre disturbed.
List of all applicable Federal and State Permits	N/A			

Site Plans				
Limits of earth disturbing of the project	√			
Soil Type Boundary Limits	X			Needs to be added.
Existing and Proposed Contours	√			
All wetlands, Riparian, and Flood Plain Limits (Including all conservation easements setbacks)	N/A			
Location of existing and planned buildings, roads, parking facilities and utilities	√			
Areas of Temporary and Permanent Stabilization	√			
Location of all Sediment Traps/Sediment Basins, including all storage volume calculations (Sediment Storage and Dewatering), and contributing drainage area	√			
Location of all Post Construction BMP's	√			Existing Basin Facility.
Design Details of Post Construction BMP's (including volume calculations, contributing drainage area,	N/A			
Location of all erosion and sediment control practices	√			
Areas designated for the storage or disposal of solid, sanitary, and toxic wastes (Including dumpster areas), areas designated for concrete truck washout, and aeras for vehicle fueling	√			
Location of designated construction entrances where the vehicles will access the construction site	X			
Location of any areas of proposed floodplain fill, floodplain excavation, stream restoration or know temporary or permanent stream crossings	N/A			

Post-Construction Storm Water Management				
	Review No. 1	**Review No. 2**	**Review No. 3**	**Comments**
Maintenance Plans				
Has a long-term maintenance plan been developed or included in the SWP3 for maintenance of the structural post-construction BMP? *NOTE: The long-term maintenance plan must be developed and provided to the post-construction site operator.*	N/A			Existing Basin Facility owned by LOA.
Does the long-term maintenance plan include the following?				
(1) an entity designated for storm water inspection and maintenance responsibilities?	N/A			
(2) the routine and non-routine maintenance tasks to be undertaken?	N/A			
(3) a schedule for inspection and maintenance?	N/A			
(4) any necessary legally binding maintenance easements and agreements?	N/A			
(5) construction drawings or excerpts showing the facility plan view and profile, as well as details of the outlet(s)?	N/A			
(6) a map showing all access and maintenance easements?	√			
(7) a description of how pollutants will be removed and disposed of?	N/A			
Does the SWP3 include a structural post-construction BMP designed to release the water quality volume over a 24-hour to 48-hour time period?	N/A			

Calculation of Water Quality Volume (WQv)				
Is the calculation of the WQv,shown? With correct values used for the following:	N/A			
(a) runoff coefficient (Rv), where Rv = 0.05 + 0.9i i = ratio of impervious surface	N/A			
(b) precipitation depth (P = 0.9 inches)?	N/A			
(c) and the drainage area (A) to the BMP?	N/A			
If the structural post-construction BMP will be used for sediment storage, does it include a sediment accumulation volume of at least 20% of the WQv?	N/A			
If a regional storm water BMP will be used to meet the post-construction requirements, does it:				
(1) meet the design requirement for treating the WQv?	N/A			
(2) have a legal agreement established with the BMP owner for long-term maintenance?	N/A			
Table 4a Do extended detention practices show an appropriate minimum drain time that shall not discharge more than the first half of the WQv in less than one-third of the drain time? *NOTE: Dry = 48 hr; Wet, wetland, permeable pavement, underground storage, and sand/media filtration min. 24, <72 hr.*	N/A			
Table 4a Do extended detention practices show appropriate design features? • Wetland and wet basins: permanent pool = 1WQv • Dry, wet and wetland: sediment storage = 0.2WQv • Dry: forebay and micro-pool or acceptable pretreatment and a protected outlet. Underground storage: acceptable pretreatment capable of ≥ 50%TSS.	N/A			
Table 4b Do planned infiltrating practices show an appropriate maximum drain time? Note: Bioretention and infiltration basin ≤ 24; infiltration trench, permeable pavement and underground storage ≤ 48 hours.	N/A			
Table 4b Do planned infiltrating underground storage practices (for credit) show acceptable of pretreatment of ≥ 80% TSS.	N/A			
Small Construction Activities ≤ 2 Acres If the SWP3 proposes to use an alternative BMP instead of a Table 4a or 4b practice,	N/A			
(1) does the SWP3 provide justification on why a standard BMP is infeasible and their use would prevent the project?	N/A			
(2) Is the alternative BMP acceptable to the local MS4 or jurisdiction?	N/A			
For construction of a previously developed area, was one of the following options used to as a post-construction practice:	N/A			
(a) 20% net reduction in the site's volumetric runoff coefficient?	N/A			
(b) a BMP sized to treat 20% of the WQv for the previously developed area using a standard BMP from Tables 4a or 4b?	N/A			
For construction involving both previously developed and undeveloped land, was equation 3 shown to calculate the WQv? $WQv = 0.9inches * A * [(Rv_1 * 0.2) + (Rv_2 - Rv_1)]/12$	N/A			
If the SWP3 proposes to use runoff reduction methods to reduce the WQv or size of post-construction practices, are one of the following acceptable practices being used with appropriate credit?				

• Green Roof • Impervious Surface Disconnection • Rainwater Harvesting • Bioretention Area/Cell • Infiltration Basin • Infiltration Trench • Permeable Pavement (Infiltration) • Underground Storage (Infiltration) • Grass Swale • Sheet Flow to Filter Strip Sheet Flow to Conservation Area				
Do practices meet Ohio EPA's Rainwater and Land Development Manual specifications?	√			

Additional Comments:

ALRW Review - Jarod L.

Record No.**CPC-24-18**

Status On Hold

Became Active May 5, 2025

Assignee Jarod Larson

Due Date May 15, 2025

Primary Location

32870 PIN OAK PKWY
AVON LAKE, OH 44012

Owner

MDC VENTURES LLC
571 TURNBERRY CT AVON LAKE, OH 44012

Applicant

Hannah Carter
419-663-0885 ext. 605
hannah@contractorsdesigneng.com
4853 State Route 601
Norwalk, Ohio 44857

Messages

Jarod Larson May 12, 2025 at 4:03 pm

Please see cycle 1 review for comments and revise & resubmit the plans.

null null May 12, 2025 at 4:05 pm

Are these revisions required prior to the meeting in June? Or will all department revisions be acceptable after the meeting in order to address all at one time. Thank you.

Jarod Larson May 12, 2025 at 4:11 pm

Revisions after the meeting are acceptable for ALRW.

Kelly La Rosa May 19, 2025 at 10:46 am

Thank you for your message and for uploading the additional architectural plans to the portal.As you continue addressing the comments from the Development Review Committee (DRC), please note that all revisions must be completed prior to the June Planning Commission meeting so that updated plans can be reviewed in advance. To facilitate this, we will need fourteen (14) 11x17 hard copies of the updated plans reflecting all changes discussed.Please ensure these are delivered to our office no later than Wednesday, May 28th, so they can be included in the meeting packets and distributed to Planning Commission members on Thursday, May 29th.Let me know if you have any questions or need further clarification.

null null May 21, 2025 at 9:47 am

Jarod, based on Kelly's instruction, we are revising the plans prior to the June meeting. If we design 2 cleanouts, will they replace the "sample manhole" that you have marked up on the plans? If not, is there a specific detail that you could provide that must be added to the plans for what is requested for the manhole. Thank you in advance for your clarification.

Jarod Larson May 21, 2025 at 9:53 am

No, cleanouts will not replace the sampling manhole. All commercial properties are required to have a dedicated sampling manhole. It is a standard 4' diameter (ID) precast concrete sanitary manhole. I have uploaded an plan sheet excerpt with our standard details for such.

Zoning Review - Austin

Record No.**CPC-24-18**

Status On Hold

Became Active May 5, 2025

Assignee Austin Page

Due Date May 15, 2025

Primary Location

32870 PIN OAK PKWY
AVON LAKE, OH 44012

Owner

MDC VENTURES LLC
571 TURNBERRY CT AVON LAKE, OH 44012

Applicant

Hannah Carter
419-663-0885 ext. 605
hannah@contractorsdesigneng.com
4853 State Route 601
Norwalk, Ohio 44857

Messages

Austin Page May 16, 2025 at 3:22 pm

1.Please provide architectural renderings/elevations depicting what the building will look like. Needs to show dimensions, façade materials, etc. There are various standards that will be applicable. Via 1228.04 (Architectural Standards for Nonresidential Buildings) of the Planning & Zoning Code:
1228.04(b) (b) Building Materials(1) The structural frame of a building
shall not be exposed to the exterior of a building.(2) A combination of materials, textures,
colors, and finishes shall be utilized to create visualinterest.(3) Materials within three feet of the
finished grade or sidewalk shall be of a durable material towithstand pedestrian and vehicular traffic.(4) No stucco (commonly
known as "dry vit" or E.F.I.S.) or similar materials shall be permittedwithin three feet of the finished grade.(5) All rooftop equipment shall match the
color of the structure or be visually compatible withthe structure. 1228.04(c) c) Building Facades(1) Blank building
walls, whether the primary or secondary façade, that are visible from publicor private streets (including alleys adjacent
to residential or mixed-use buildings) areprohibited. These requirements shall not apply to those walls that are not visible from astreet or are completely hidden due to topography or natural features preserved as openspace.(2) Although the
front façade of a building is expected to be the focal point in terms of the levelof architectural character and features, all
sides of buildings that are visible from a publicstreet or an adjacent building shall incorporate architectural detailing on all facades that isconsistent with the front façade and the
requirements of the applicable zoning district. Anyfaçade of a building that will be screened
from view due to the buffering requirements ofSection 1232.05: Screening Requirements shall be exempt from this requirement.(3) OrnamentationAll visible elevations shall include
decorative features such as cornices, pilasters, andfriezes. Building recesses and protrusions
are strongly encouraged on larger buildings tobreak long uninterrupted building walls. See Figure 1228-D.(4) Façade Offset RequiredFront façades 60 feet wide or wider shall incorporate
wall offsets of at least two feet in depth(projections or recesses) a minimum of every 40 feet.
Each required offset shall have aminimum width of 20 feet.(5) Offset AlternativesThe following alternatives can be used in
place of the required front façade offsets as shownin Figure 1228-E:A. Façade color changes following the same dimensional standards as the
offsetrequirements;B. Pilasters having a minimum depth of one foot, a minimum width of one foot,

and aminimum height of 80 percent of the façade's height; and/orC. Roofline changes when coupled with correspondingly aligned façade materialchanges. 2.Not sure of roof design. Is mechanical equipment proposed on the roof? If so, it needs to be screened by parapet wall. Material should be of same materials and color(s) as structure.
3.Need to confirm with Engineering that the proposed dumpster location and screening does not present any issues as proposed in the storm sewer easement. Same goes for the two proposed Red Maples.
4.Details are needed for dumpster enclosure. Is fencing and a gate proposed or just landscaping? Per code, screening shall have sufficient enough height to screen the applicable item (dumpster). If fenced and landscaped, thanks. If only landscaping, taller vegetation will be needed.
5.Appreciate the level of details on the landscaping plan. Thank you for the sufficient parking lot landscaping and additional foundation plantings.
6.How tall are the proposed light poles in the parking lot? Please provide details. Not permitted to exceed a height of 30'.
7.Thank you for providing the photometric plan, no issues with the footcandles as proposed.
8.Is any monument signage proposed? Please depict location and setback on plans. Details/rendering of signage shall also be provided.
9.Is any wall signage proposed? Please depict elevations and show dimensions.
10.Sidewalks will be required to be installed as well as an ADA compliant ramp at the corner of Pin Oak and Commerce Parkway. The sidewalk shall be at least 4' wide and shown on site plan. A detail should also be provided on the detail sheets.
11.My apologies if missed but Commerce Pkwy stop sign shall be depicted on the site plan.
12.Parking lot setbacks are depicted incorrectly. For nonresidential, all off-street parking areas shall be a minimum of 20' from front lot lines, not 15' (as shown along Pin Oak Pkwy. Parking setback in the side and rear is 5', per 1234.06. Parking lot is compliant, just the setback lines need adjusted.
13.Add the zoning district setbacks, variance granted setbacks and max building height (45') to the site data table.

---

null null May 16, 2025 at 3:38 pm

Hello Austin, I will address comments you have made after the June meeting along with other department's concerns. I will be adding the other architectural plans to the portal today for your use. Thank you for your review and have a good day, Brandi Schroeder

---

Kelly La Rosa May 19, 2025 at 10:46 am

Thank you for your message and for uploading the additional architectural plans to the portal.As you continue addressing the comments from the Development Review Committee (DRC), please note that all revisions must be completed prior to the June Planning Commission meeting so that updated plans can be reviewed in advance. To facilitate this, we will need fourteen (14) 11x17 hard copies of the updated plans reflecting all changes discussed.Please ensure these are delivered to our office no

later than Wednesday, May 28th, so they can be included in the meeting packets and distributed to Planning Commission members on Thursday, May 29th.Let me know if you have any questions or need further clarification.

---

null null May 28, 2025 at 8:22 am

Good morning Kelly, As we never received comments from engineering, our plan revisions will only address the comments that were received by Friday of last week. Please provide me with the June meeting date, time and location for our client's and/or their architect to be in attendance. We expect to drop off the requested 14 copies of the plans today. Is there somewhere that they can be delivered if the office is closed as I believe our office has the same hours as yours. Thank you in advance. Have a great day, Brandi Schroeder

---

Kelly La Rosa May 28, 2025 at 8:51 am

Good morning, Brandi. We are open from 8 AM to 4:30 PM each day. We do not have an overnight drop off box. The meeting takes place at City Hall, 150 Avon Belden Road, Avon Lake on the second floor in Council Chambers and begins at 7:00 PM.Let me know if you have any other questions.

Austin Page May 29, 2025 at 9:29 am

Thank you for the revisions and resolving most of my comments. I appreciate the facade materials and building projections. Looks great!
However, there are still 3 items that need to be addressed:
3. Need confirmation that the proposed dumpster location and screening does not present any issues as proposed in the easement. Same goes for the two proposed Red Maples.
6. How tall are the proposed light poles in the parking lot? Please provide details. Not permitted to exceed a height of 30'.
9. Did not see any detail or rendering proposing wall/building signage. Is any signage proposed? If so, please depict and provide a detail like what was provided for the monument signage.

Step Activity

OpenGov system activated this step	05/05/2025 at 5:29 pm
OpenGov system assigned this step to Austin Page	05/05/2025 at 5:29 pm
OpenGov system changed the deadline to May 15, 2025 on approval step Zoning Review - Austin	05/05/2025 at 5:29 pm
Austin Page approved this step	05/16/2025 at 3:22 pm
Austin Page altered approval step Zoning Review - Austin, changed status from Complete to On Hold	05/29/2025 at 9:19 am

SITE PLANS FOR
TOMSHACK'S PROPOSED BUILDING
32870 PIN OAK PARKWAY
CITY OF AVON LAKE, LORAIN COUNTY, OHIO

LEGEND

EXISTING	PROPOSED	DESCRIPTION
SA	SA	SANITARY SEWER
ST	ST	STORM SEWER
W	W	WATER MAIN
G	G	GAS LINE
T	T	TELEPHONE LINE
OE	OE	OVERHEAD ELECTRIC LINE
E	E	ELECTRIC LINE
CATV	CATV	CABLE & TELEVISION LINE
FO	FO	FIBER OPTIC LINE
X X X X	X X X X	FENCE LINE
1 2	1 2	CENTER LINE
		BASE LINE
		RIGHT OF WAY LINE
500	500.0	MAJOR CONTOURS
502	502.0	MINOR CONTOURS
		GUARDRAIL
ST SA	ST SA	MANHOLE
CB	CB	CATCH BASIN
LIFT	LIFT	LIFT STATION
CO	CO	CLEANOUT
WV	WV	WATER VALVE
WM	WM	FIRE HYDRANT
GM	GM	WATER METER
		GAS METER
WV	WV	WATER SERVICE
GV	GV	GAS VALVE
		POWER POLE
		LIGHT POLE
		POLE W/ DOWN GUY
		TREE
TR		ELECTRIC TRANSFORMER
EM		ELECTRIC METER
E		ELECTRIC BOX/PEDESTAL
		SIGN

HATCH LEGEND

BUILDING

ASPHALT PAVEMENT

CONCRETE PAVEMENT

ZONING INFORMATION

ZONING CLASSIFICATION & USE:

I-1: Light Industrial

Use: Administrative, Business, or Professional Offices

ZONING REGULATIONS:

Minimum Lot Area:	1 acre	
Minimum Front Building Setback:	60 feet	25 feet (Variance)
Minimum Side Building Setback:	25 feet	
Minimum Rear Building Setback:	25 feet	
Maximum Building Height:	45 feet	
Maximum Lot Coverage:	75%	

PARKING TABLE

Size of Parking Space:
Each parking space shall be at least nine (9) feet wide and eighteen (18) feet long for 90 degree perpendicular parking.

Dimension of Parking Aisle:
Two-way circulation aisles shall be at least twenty-four (24) feet wide for 90 degree perpendicular parking.

Number of Spaces Required:
Administrative, Business, or Professional Offices:

One (1) space per 400 S.F. Gross Floor Area	22
Total Required Spaces	22

Number of Spaces Provided:

Handicap Spaces	02
Regular Spaces	24
Total Provided Spaces	26

SITE MAP
N.T.S.

INDEX

NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS & SPECIFICATIONS
3	EXISTING SITE & DEMOLITION PLAN
4	PROPOSED SITE & DIMENSION PLAN
5	PROPOSED UTILITY & GRADING PLAN
6	STORMWATER POLLUTION PREVENTION PLAN & DETAILS

GENERAL NOTES

SPECIFICATIONS:
The current Construction and Material Specifications (CMS) of the State of Ohio Department of Transportation, including any changes and supplemental specifications listed hereon, shall govern this project.

Item numbers referred to herein conform to the State of Ohio Department of Transportation, Construction and Material Specifications, Current Edition.

ELEVATION DATUM
All elevations are based on NAVD '88 Datum and verified by a Surveyor.

PERMITS
The contractor shall be responsible for obtaining all necessary permits.

UNDERGROUND UTILITIES
The locations of the underground utilities shown on the plans have been obtained by diligent field checks and searches of available records. It is believed that they are essentially correct, but Contractors Design Engineering, does not guarantee their accuracy or completeness. The exact location and projection of the underground utilities are the responsibility of the contractor.

OHIO UTILITY PROTECTION SERVICE:
The contractor shall notify the Ohio Utility Protection Service [800-362-2764] forty-eight [48] hours before his work is in progress and shall make such arrangements as are necessary in the event emergency repairs should become necessary.

EXISTING ROADWAY DRAINAGE
Existing roadway ditches, culverts pipes and drives disturbed during construction shall be regraded and replaced to conform to conditions prior to construction and shall be seeded as directed by the Engineer or the City of Avon Lake.

GRADING
The design engineer is not responsible for excess soil that remains after construction.

LAWN AREAS:
Existing lawn areas disturbed during construction shall be replaced to a condition equal to or exceeding original condition and as approved by the Engineer or the City of Avon Lake.

EXISTING TREES
Existing trees not indicated for removal shall not be disturbed during construction operations. All cuts or wounds measuring one or more inches in diameter and all exposed wood or scars resulting from this construction shall be painted with an approved paint or tree wound dressing.

ITEM 614, MAINTAINING TRAFFIC
Traffic shall be maintained on all roads of this project at all times.

Length and duration of the lane closures and restrictions shall be at the approval of City of Avon Lake. It is the intent to minimize the impact to the traveling Public.

The Contractor shall provide, erect and maintain signs, barricades, gates and lights in accordance with ODOT 614 and other applicable portions of the specifications, as well as the Ohio Manual of Uniform Traffic Control Devices. Payment for all labor, equipment and materials shall be included in the Lump Sum price for Item 614 Maintain Traffic, unless separately itemized in the Plan.

UTILITY SERVICES
Relocation or repair of utility services, disturbed by the work will be the responsibility of the contractor. The cost shall be included in the cost of the project.

UTILITY POLES
All utility poles within this project that require relocation shall be moved by there respective owners so not as to interfere with the progress of the work.

The contractor shall coordinate with the respective utility owners to provide adequate temporary support when trenching near the remaining utility poles and guy wires.

CONSTRUCTION LAYOUT
All construction layout shall be the responsibility of the contractor and shall be provided by a Licensed Professional Surveyor.

PLANS PREPARED BY

Engineer & Surveyor
Contractors Design Engineering, Ltd.
4853 State Route 601
Norwalk, Ohio 44857
Phone: (419) 663-0885
Fax: (419) 663-2805
E-Mail: brandi@contractorsdesigneng.com

STATE OF OHIO
BRANDI L. SCHROEDER
E-88906
REGISTERED
PROFESSIONAL ENGINEER

Brandi Schroeder

Brandi L. Schroeder, P.E., S.I., CPESC, CESSWI

the 28th day of May, 2025

UNDERGROUND UTILITIES
Contact Two Working Days Before You Dig
OHIO811.org Before You Dig
OHIO811, 8-1-1, or 1-800-362-2764
(Non-members must be called directly)

DATE	BY	DESCRIPTION	NO.

REVISIONS

TOMSHACK'S PROPOSED BUILDING SITE PLAN
TITLE SHEET
CITY OF AVON LAKE, LORAIN COUNTY, OHIO

1 / 6

CONTRACTORS DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

SCALE:	DATE: MAY 28, 2025	CK'D-BY: AEW	PROJECT NO.
	DR. BY: HEC, BLS	REV'D BY:	24-393

File Name: Z:\CD\Eng\24\24-393-Tomshack-680 Commerce Pkwy-Site Plan\24-393.dwg

CURB RAMP DETAILS

NOTES

GENERAL: This drawing shows curb ramp types details and placement examples for curb ramp construction, including the installation of detectable warnings.

Curb ramp types are shown on Sheet 2 and include Perpendicular, Parallel, and Combined types as specified to be constructed in the locations shown on the project plans.

Curb ramps added to an existing intersection or walk should be individually detailed on the project plans to assure that the design is appropriate for site constraints and all items can be constructed to ADA standards. The contractor may adjust the placement of curb ramps if existing field conditions warrant with the approval of the Engineer.

PAYMENT: Measure and pay for the ramp area within the shaded limits of this drawing as Item 608 Curb Ramp, Square Foot. This includes the cost of any curb or curb and gutter, detectable warnings, landing areas and any additional materials, installation, grading, forming, and finishing required within the shaded area.

Work beyond the shaded ramp/landing area is paid for as curb (609) and walk (608). Removal of existing curb, walk (or existing curb ramps) are paid under Item 202.

For at-grade crossing locations where only detectable warnings are required in order to acheive ADA compliance, measure and pay for the strip of detectable warnings as Item 608 Detectable Warning, Square Foot. The work to cast the tiles in place will also require removal of existing pavement (Item 202) to the nearest joint, or if no joint exists, a minimum of 4 feet.

The running slope of the ramp is preferred to be 12:1 or flatter. In existing sidewalks, where the maximum ramp slope is not feasible due to site constraints (e.g. utility poles or vaults, right-of-way limits) it may be reduced as follows:

A) 10:1 for a max. rise of 6",
B) 8:1 for a max. rise of 3",
C) 6:1 over a max. run of 2'-0" for historic areas where a flatter slope is not feasible.

To prevent chasing the grade indefinately, the transition from exisiting sidewalk to the shaded curb ramp area is not required to exceed 15 feet in length.

While ramps may be skewed to the crosswalk, the entire lower landing area must fall within the cross walk that the ramp serves and cannot be located in the traveled lane of opposing traffic.

The counter slope of the gutter or street at the foot of a curb ramp, landing, or blended transitions shall be 20:1 ot flatter.

The bottom edge of the ramp shall change planes perpendicular to the landing.

The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.

Ramp landings shall be 4' min. x 4' min. with a 50:1 or flatter cross slope and running slope.

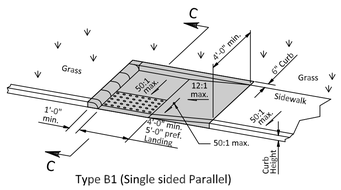
DETECTABLE WARNINGS: Install Detectable Warnings on each curb ramp with approved materials, as shown on Sheet 3. Install these proprietary products as per manufacturer's written instructions.

DRAINAGE: Contractor is to ensure the base of each constructed curb ramp allows for proper drainage, without exceeding allowable cross slope or ramp slopes. Vertical change in level exceeding ½" between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed.

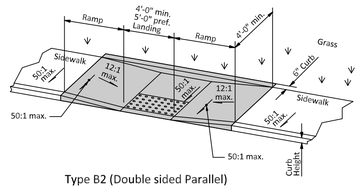
SURFACE TEXTURE: Texture concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.

JOINTS: Provide expansion joints in the curb ramp as extensions of walk joints and consistent with Item 608.03 requirements for a new concrete walk. Provid a ½" Item 705.03 expansion joint filler around the edge of ramps built in existing concrete walks. Lines shown on this drawing indicate the ramp edges and slope changes, and do not necessarily indicate joint lines.

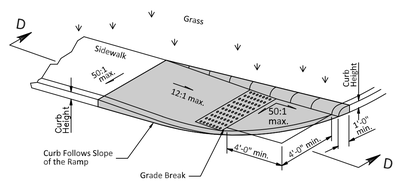
PARALLEL CURB RAMP DETAILS



Type B1 (Single sided Parallel)

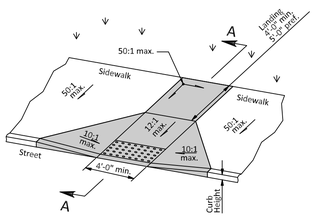


Type B2 (Double sided Parallel)

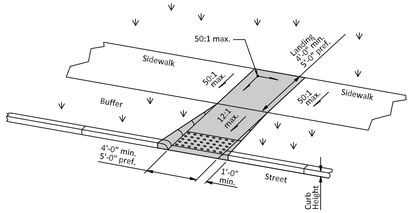


Type B3 (Single sided Parallel)

PERPENDICULAR CURB RAMP DETAILS

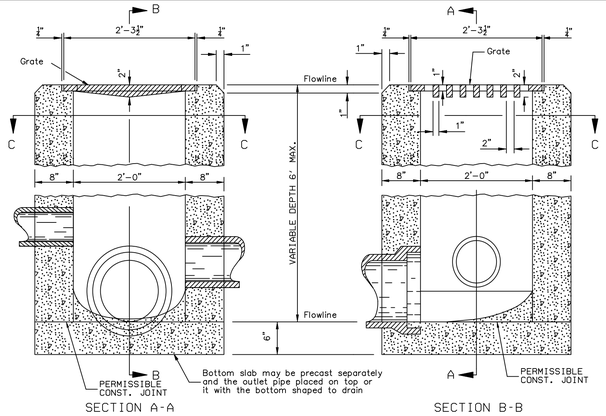


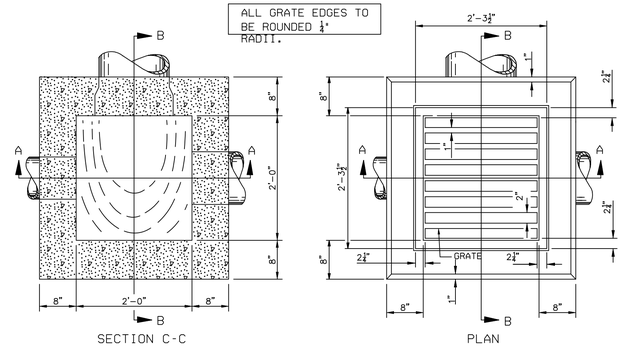
Type A1 (Perpendicular with flared sides)



Type A2 (Perpendicular with returned curb)

ODOT CATCH BASIN 2-2A, 2-2B & 2-2C





NOTES

GENERAL: Catch Basins 2-2A and 2-2B are not intended for use in roadway applications. Catch Basin 2-2C is intended for parking lot use only.

CATCH BASINS 2-2A, 2-2B & 2-2C: This sheet depicts Catch Basin 2-2B & 2-2C. See Sheet 1 of 2 for Catch Basin 2-2A.

CB-2-2B GRATE: Furnish a design essentially the same and equally as strong as the one shown (see Construction Information table), or meet the requirements of CMS 711.14. Provide grate openings and dimensions as shown here unless otherwise shown in the plans.

If necessary, bicycle safe grates will be specified in the plans. Furnish Neenah No. R-4859-S or EJ No. 5110M3 (00511043) grates or approved equals.

Place grate elevation 4" to 6" below normal ditch and return to normal 10' to 15' each side of inlet.

CB-2-2C FRAME & GRATE: Where the catch basin is specified for use in a parking lot, Furnish Neenah No. R-1878-ASG or EJ No. V-5622 (45622010) frame and V-5622 (45622030) grate or approved equals. If necessary, bicycle safe grates will be specified in the plans. Furnish Neenah No. R-3405 grate or EJ No. 5250M (00525031) grate or approved equals.

On cast-in-place and precast units, provide a level surface on the catch basin 4" below the plan grate elevation for setting the frame and grate assembly. Provide a concrete apron to encase and secure the frame of a width not less than the thickness of the catch basin walls that the frame was placed on or as shown in the plans. Slope apron to provide local depression.

GRATE TEXT: Cast the following text into the top of the grate:

"DRAINS TO WATERWAY" and "DUMP NO WASTE"

Print text in bold, capital letters at least 1/2" high. "WATERWAY" may be substituted with "STREAM", "RIVER", "LAKE", etc. Actual placement and logo may vary per manufacturer.

WALLS: Construct brick or cast-in-place walls with a nominal 8" thickness. Provide precast walls at least 6" thick with sufficient reinforcing to permit shipping and handling without damage.

CONCRETE: Use 4000 psi compressive strength for cast-in-place concrete. Meet the requirements of CMS 706.13 for all precast concrete and mark with the catch basin number.

PRECAST BASE: If a precast base is used, set it deep enough so that the top can be placed on the base to provide the grate elevation specified in the plans. Do not use brick layers to adjust the top elevation.

LOCATION AND ELEVATION: When given on the plans, location and elevation are at the top center of the grate.

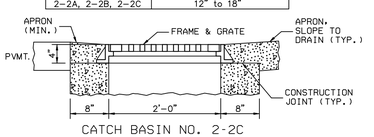
MINIMUM DEPTH: The minimum depth of CB No. 2-2B is the outside diameter (O.D.) of the outlet pipe plus 4". The minimum depth of CB No. 2-2C is the outside diameter (O.D.) of the outlet pipe plus 8".

OPENINGS: Ensure pipe openings are the O.D. of the pipe being supplied plus 2" when fabricated or field cut. Fill any voids per C&MS 611.

PAYMENT: All materials and labor, including excavation and backfilling, are paid for under Item 611 - Catch Basin, No. 2-(28 or 2C).

CONSTRUCTION INFORMATION
Minimum weight of grate, 120 lbs.

CATCH BASIN	OUTLET PIPE SIZE
2-2A, 2-2B, 2-2C	12" to 18"



CATCH BASIN NO. 2-2C

ODOT REVISIONS OF 7/16/21

STORM SEWER SPECIFICATIONS

PIPE

All storm sewer work shall be in accordance with ODOT Specification 603 for type C conduit, except conduit shall be reinforced concrete conforming to ASTM C-76, Class IV, PVC conforming to the requirements of ASTM-D3034 (SDR 35), ASTM F-679 or ASTM F-1803 for PVC sewer pipe or Corrugated Polyethylene conforming to ODOT 707.16 and AASHTO specification M-294 Type S and shall be Advanced Drainage Systems, Inc. "N-12" or approved equal. Fittings shall be furnished by the pipe manufacturer. Field cut openings will not be permitted.

JOINTS

Joints for RCP and fittings shall be flexible rubber gasket "O-Ring" conforming to ASTM C-443 or bituminous pipe joint filler conforming to ODOT 706.10. Joints for PVC pipe and fittings shall be rubber gasket, Johns-Manville "Ring-Tite" or equal confroming to the requirements of ASTM D-3212. Joints shall provide a watertight seal and shall be made in accordance with the pipe manufacturer's instructions.

TESTING

After backfill procedures have been completed for 30 days, all storm sewers of PVC or Corrugated Polyethylene sewer shall be tested by a deflectometer test for a maximum deflection of 5 percent of the pipe's average inside diameter. All pipes exceeding a deflection of 5 percent will be repaired or replaced and then retested.

CATCH BASINS AND OUTLET STRUCTURES

Catch basins greater than 4 feet deep should be a minimum of 3'x3' with polypropylene steps. Frames and grates for catch basins shall be East Jordan Iron Work 5250 with Type MI grate or approved equal. Grate openings of catch basins and outlet structures shall allow passage of 25 year storm events.

SANITARY SEWER PIPE AND SPECIALS PIPE

PIPE

P.V.C. sewer pipe and fittings shall conform to the requirements of A.S.T.M. specification D-3034 (SDR-35) for P.V.C. sewer pipe. Minimum wall thickness shall be as follows: 12" - 0.360", 10" - 0.300", 8" - 0.240", and 6" - 0.180".

Fittings shall be furnished by the manufacturer.
Field cut openings will not be permitted.

JOINTS

Joints for PVC pipe and fittings shall be rubber gasket, Johns-Manville "Ring-Tite", or equal conforming to the requirements of A.S.T.M. specification D-3212.

TESTING

Before completion and final acceptance, the sewer will be inspected and tested by low pressure air testing in conformance with City of Avon Lake standards. Sewer pipe shall also be tested for deflection by a deflectometer test in conformance with City of Avon Lake Standards. The test shall be conducted after the final backfill has been in place at least 30 days. No pipe shall have a deflection exceeding 5 degrees.

Polyethylene (PE) Water Service

PE water service tubing shall be high density, blue or black with blue stripes, copper tube size (CTS), DR 9 (outside diameter-based dimension ratio), PE 3408/3608 - pressure class 200 psi or PE 4710 - pressure class 250 psi, in conformance with the requirements of ANSI/AWWA C901 and ASTM D2737 Standard Specification for Polyethylene (PE) PE3608 Plastic Tubing, in sizes 1 inch, 1-1/2 inch and 2 inches. Copper Tube sizes shall be used to allow the use of compression fittings without special adapters.

PE water service tubing shall bear permanent identification markings that will remain legible during normal handling, storage, installation and service life and that will not reduce strength or otherwise damage tubing. Markings shall be applied at intervals not more than 5 feet and shall include: nominal size, standard PE code designation, dimension ratio, AWWA pressure class, AWWA designation number C901, manufacturer's name or trademark and production record code, seal or mark of testing agency that certified suitability of tubing material for potable water products.

Tracer Wire Installation with Polyethylene (PE) Water Service

Tracer wire shall be HMW-PE, 45 mils, 12-AWG solid copper and installed along PE water service tubing. Tracer wire shall be installed in such a manner as to enable its detection with electronic locating equipment.

Tracer wire shall be from corporation stop extended continuously along polyethylene (PE) water service tubing to the curb stop and up to top of curb stop box. Where PE water service is installed on ductile iron water mains, tracer wire shall be secured at the corporation stop. Where PE water service is installed on PVC water mains, tracer wire for PE water service tubing shall be spliced to the tracer wire for the PVC water main. For curb boxes located in grassy areas, tracer wire shall travel up the outside of curb box and wrap 3 times around underside of box lip. For curb boxes located in concrete or asphalt areas, tracer wire shall travel up inside curb box shaft and extend 1 foot longer than top of box with wire tucked inside box.

GENERAL CONSTRUCTION DETAILS

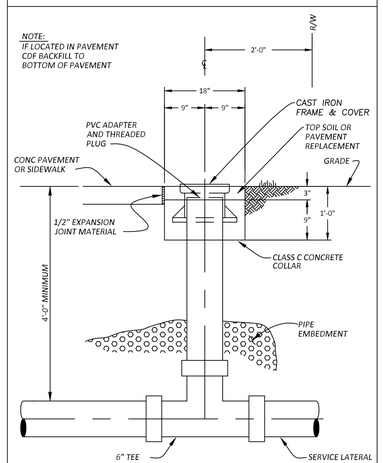
Minimum cover over water service tubing and fittings, as measured between finished grade and top of exterior limit of water service tubing and fittings is to be 4 feet 6 inches

Water service tubing shall be installed in a single piece without joints between corporation stop and curb stop. Water service tubing may be curved around obstructions in the trench. Water service tubing shall be laid at a right angle to the water main and in a straight path from the corporation stop to the curb stop. There shall be no kinks, jolts, gouges or crimps in the water service tubing, and Contractor shall avoid any unnecessary flexing and bending of the water service tubing.

Water service tubing shall be connected to corporation stop, curb stop and existing water service tubing by using approved and appropriate gaskets, joint and connection materials, or fittings required to make the connections.

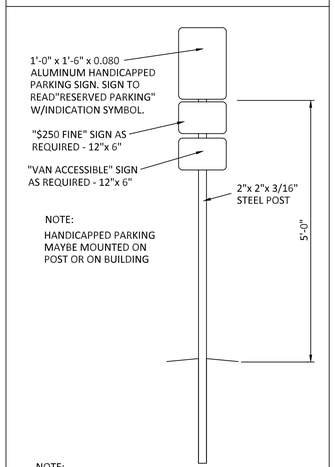
Service saddles are required for connecting all water service tubing to PVC/PVCO water main pipe. Service saddles shall be used as specified.

SERVICE CONNECTION CLEANOUT DETAIL



SECTION

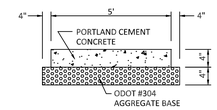
HANDICAPPED PARKING SIGN



NOTE:
HANDICAPPED PARKING MAYBE MOUNTED ON POST OR ON BUILDING

NOTE:
HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS

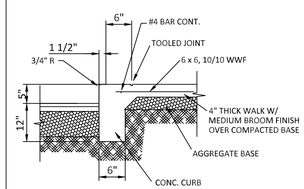
SIDEWALK DETAIL



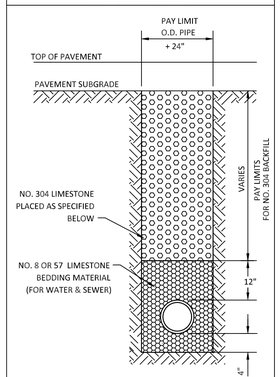
SIDEWALK

A. The Portland cement concrete walk with ODOT Item 304 aggregate base shall be in accordance with ODOT Item 608.

INTEGRAL CURB & SIDEWALK



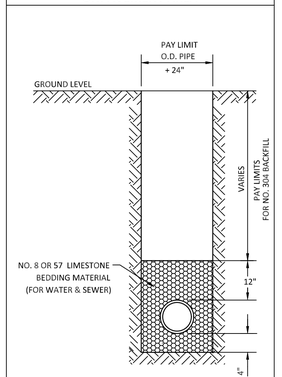
WATER & SEWER TRENCH, TYPE B PIPE IN PAVEMENT AREA



COMPACTED TO 95% (MODIFIED PROCTOR) AND INSTALLED BY ONE OF THE FOLLOWING METHODS:

A. WATER & SEWER
1. 1'-0" LIFTS MECHANICALLY COMPACTED
2. PER ODOT ITEM 603.06

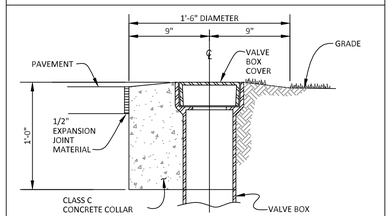
WATER & SEWER TRENCH, TYPE C PIPE IN UNPAVEMENT AREA



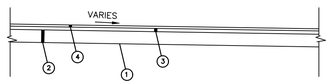
COMPACTED TO 95% (MODIFIED PROCTOR) AND INSTALLED BY ONE OF THE FOLLOWING METHODS:

A. WATER & SEWER
1. 1'-0" LIFTS MECHANICALLY COMPACTED
2. PER ODOT ITEM 603.06

VALVE BOX DETAIL

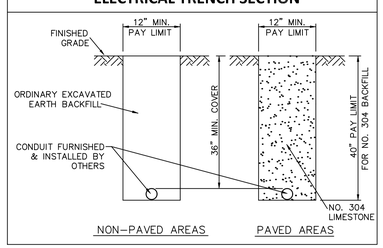


ASPHALT CONCRETE PAVEMENT TYPICAL SECTION

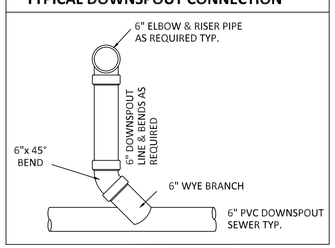


1	ITEM 204	SUBGRADE COMPACTION
2	ITEM 304	8" AGGREGATE BASE
3	ITEM 441	1 3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE 2 (448)
4	ITEM 441	1 1/4" ASPHALT CONCRETE SURFACE COURSE, TYPE 1 (448) PG64-22

ELECTRICAL TRENCH SECTION



TYPICAL DOWNSPOUT CONNECTION



STATE OF OHIO
BRANDI L SCHROEDER
E-88906
REGISTERED
PROFESSIONAL ENGINEER

Brandi L. Schroeder

DATE	BY	DESCRIPTION	NO.

REVISIONS

TOMSHACK'S PROPOSED BUILDING SITE PLAN
DETAILS & SPECIFICATIONS
CITY OF AVON LAKE, LORAIN COUNTY, OHIO

2
6

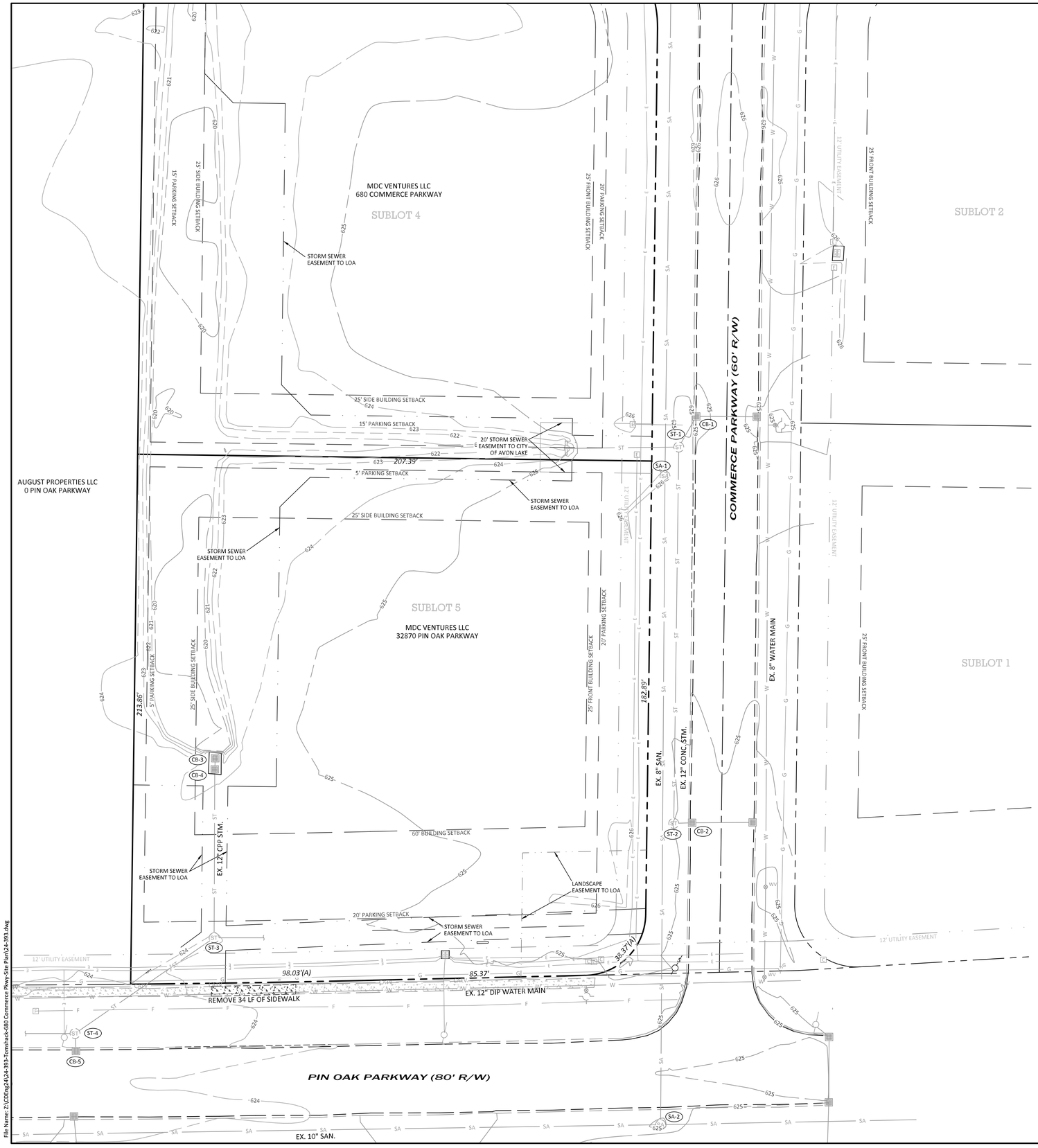
CONTRACTORS DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

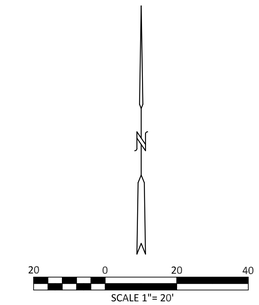
SCALE:	DATE: MAY 28, 2025	CK'D. BY: AEW	PROJECT NO.
	DR. BY: HEC, BLS	REV'D BY:	24-393

File Name: Z:\CDEng24\24-393-Tomshack680 Commerce Pkwy-Site Plan\24-393.dwg

NOTES

- SIZES OF EXISTING SANITARY AND WATER LINES SHOWN ON PLANS ARE BASED ON MARKUPS RECEIVED BY JAROD LARSON'S ALRW REVIEW, PROVIDED MAY 12, 2025.





EXISTING SANITARY SEWER TABLE					
STRUCTURE	T/RIM	INVERT	SIZE	DIRECTION	PIPE TYPE
SA-1	626.07	617.45	8"	N	PVC
		617.42	8"	S	PVC
SA-2	625.04	615.41	8"	N	PVC
		614.01	8"	N	PVC
		613.61	10"	E	PVC
		613.71	10"	W	PVC

EXISTING STORM SEWER TABLE					
STRUCTURE	T/RIM	INVERT	SIZE	DIRECTION	PIPE TYPE
ST-1	625.56	622.23	12"	NE	CONC
		622.12	12"	W	CONC
		622.13	12"	S	CONC
ST-2	624.97	622.22	12"	E, N	CONC
ST-3	623.90	619.71	12"	SW, N, E	CPP
ST-4	623.92	619.54	18"	W	CONC
		619.62	12"	NE	CPP
		620.32	15"	S	CONC
CB-1	624.78	622.18	12"	SW, E	CONC
		623.05	4"	NE	PVC
		623.17	4"	S	PVC
CB-2	624.35	622.11	12"	W, E	CONC
		622.40	4"	N, S	PVC
CB-3	623.53	620.35	4"	S	CONC
		619.13		N	SQ. GRATE OUTLET
CB-4	623.56	620.00	12"	S	CPP
		620.41	4"	N	CONC
CB-5	623.35	620.48	15"	N	CONC
		620.86	6"	E	PVC
		620.85	6"	W	PVC

STATE OF OHIO
BRANDI L. SCHROEDER
E-88906
REGISTERED
PROFESSIONAL ENGINEER

Brandi L. Schroeder

TOMSHACK'S PROPOSED BUILDING SITE PLAN

EXISTING SITE & DEMOLITION PLAN
CITY OF AVON LAKE, LORAIN COUNTY, OHIO

3
6

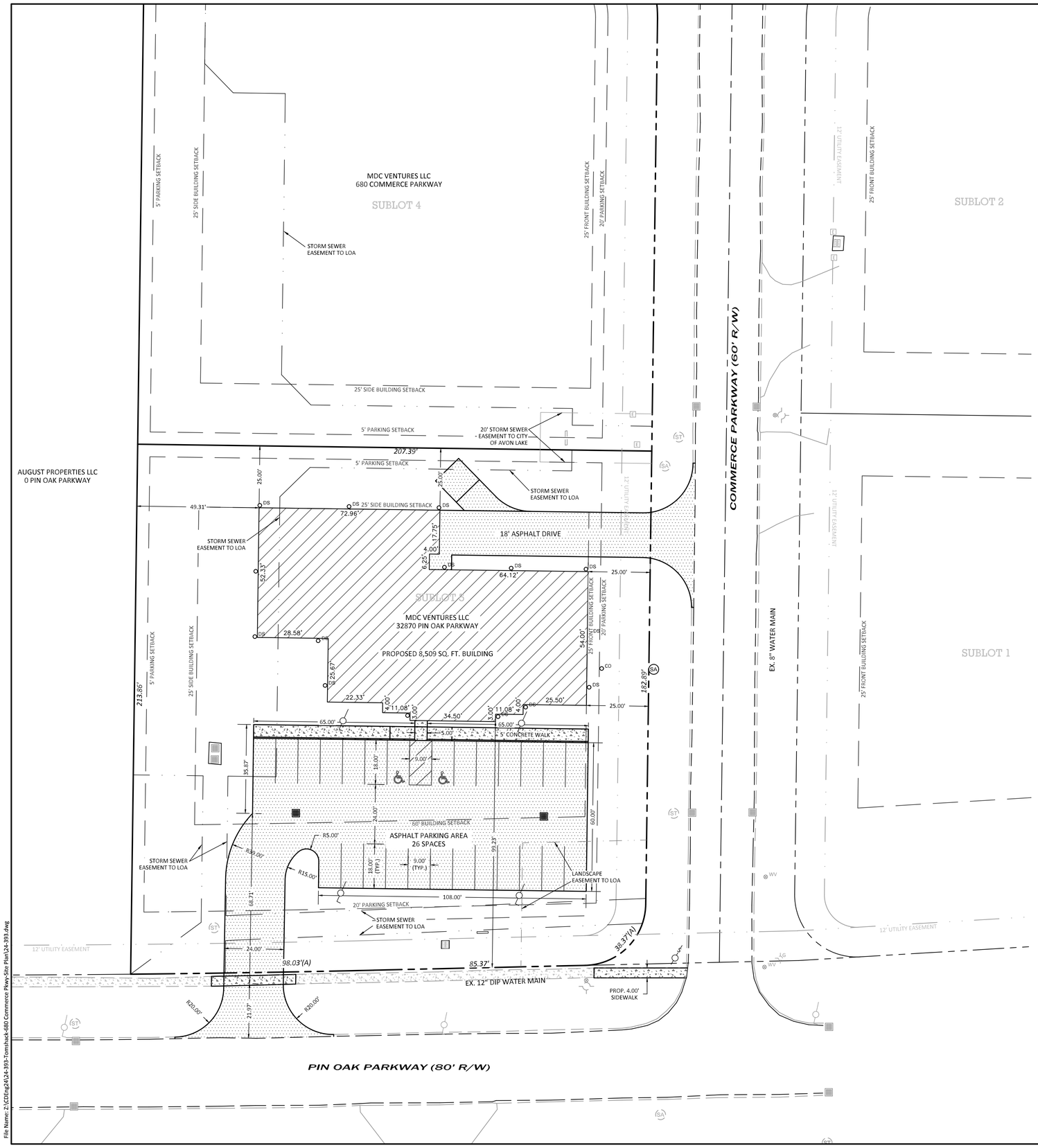
CONTRACTORS DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

DATE	BY	DESCRIPTION	NO.

REVISIONS

SCALE:	DATE:	MAY 28, 2025	CK'D BY:	AEW	PROJECT NO.
1"=20'	DR. BY:	HEC, BLS	REV'D BY:		24-393

File Name: Z:\CDEng\Al\24-393-Tomshack-680 Commerce Pkwy-Site Plan\24-393.dwg



NOTES:

1. Property drawn from subject's deed description & plat of the First Commerce Park Subdivision, P.V. 96, Pg. 1-3 performed by P.A. Rosebeck & Associates, dated December 21, 2009.
2. Plat acreage of Sublot 5 is 1.0001 acres. Maximum lot coverage permissible is 0.75 acres. Proposed lot coverage is 0.49 acres.

STATE OF OHIO
BRANDI L SCHROEDER
E-88906
REGISTERED
PROFESSIONAL ENGINEER

Brandi L. Schroeder

TOMSHACK'S PROPOSED BUILDING SITE PLAN

PROPOSED SITE & DIMENSION PLAN
CITY OF AVON LAKE, LORAIN COUNTY, OHIO

4
6

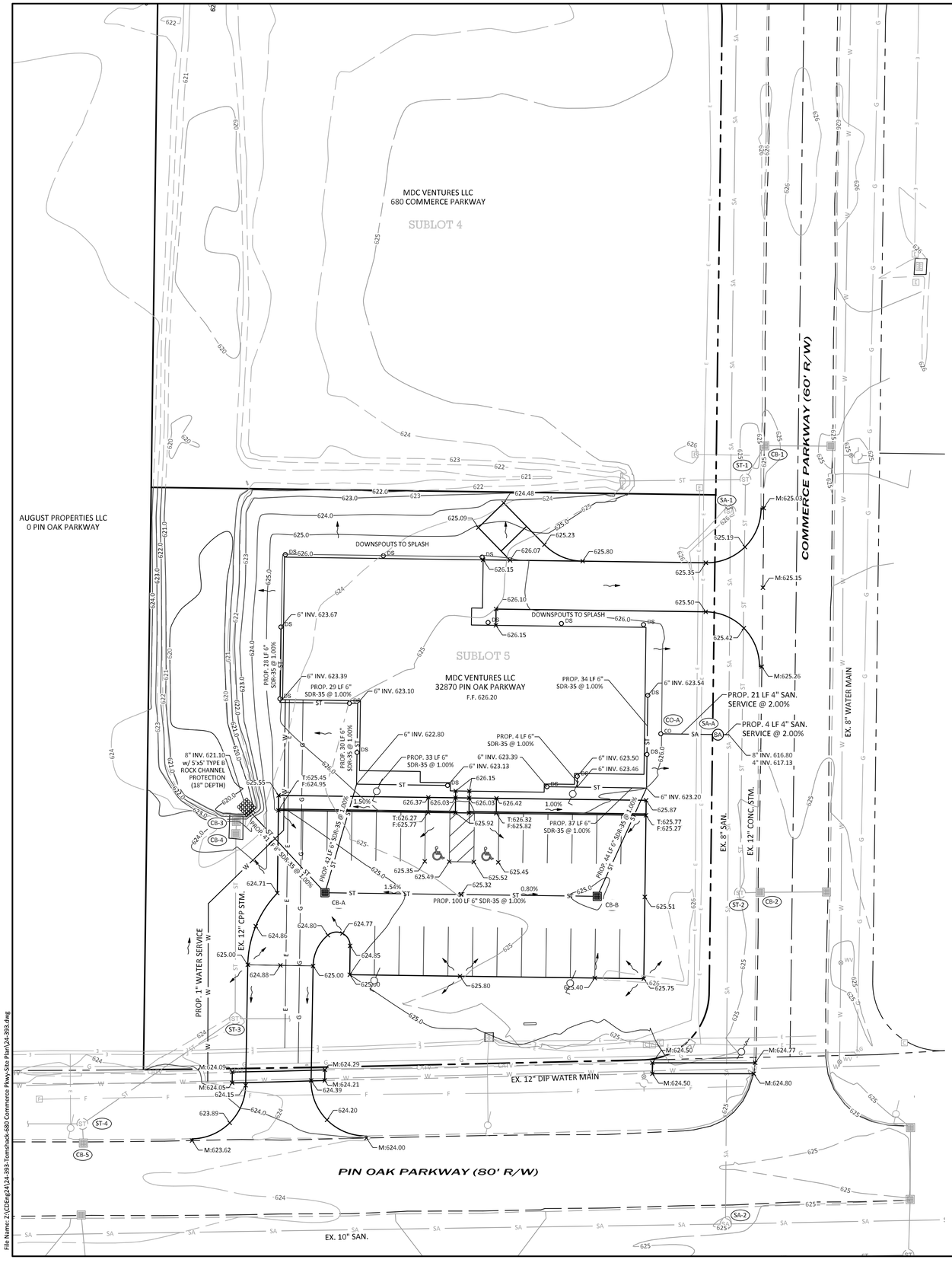
CONTRACTORS DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

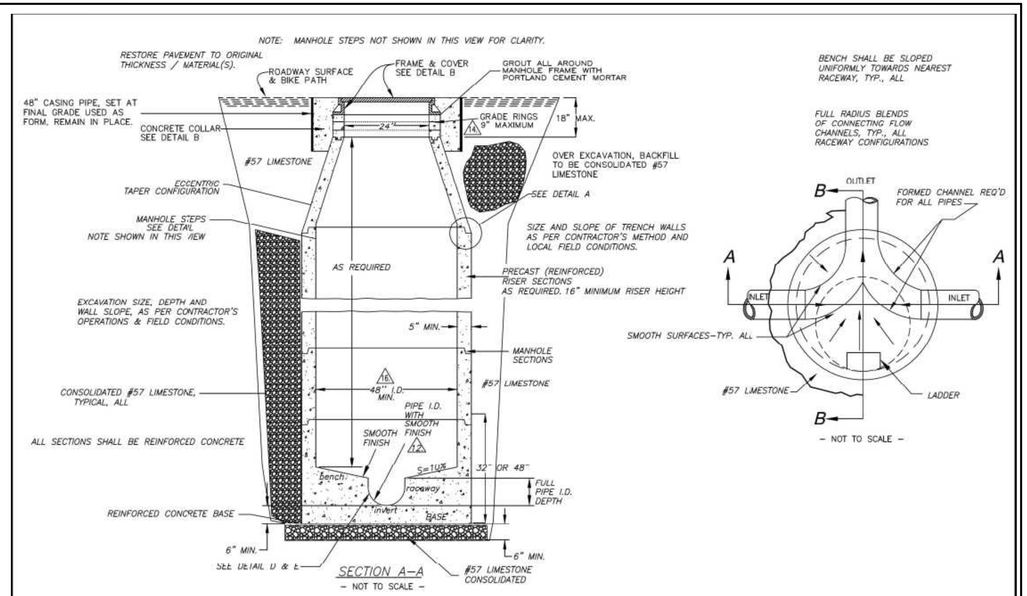
DATE	BY	DESCRIPTION	NO.

REVISIONS

SCALE:	DATE:	CK'D. BY:	PROJECT NO.
1"=20'	MAY 28, 2025	AEW	24-393
	DR. BY: HEC, BLS	REV'D BY:	

File Name: Z:\CDEng24\24-393-Tomshack-680 Commerce Pkwy\Site Plan\24-393.dwg





ALRW-SAN-12E

STANDARD MANHOLE DETAIL

NOTE: SYMBOLS REFER TO NOTES ON ALRW-SAN-12A TO 12I

PROPOSED STORM SEWER TABLE					
STRUCTURE	T/RIM	INVERT	SIZE	DIRECTION	PIPE TYPE
CB-A	624.55	621.50	8"	NW	SDR-35
		621.66	6"	E	SDR-35
		622.38	6"	NE	SDR-35
CB-B	624.92	622.66	6"	W	SDR-35
		622.76	6"	NE	SDR-35

NOTE: PROPOSED CATCH BASINS ARE ODOT 2-2C

PROPOSED SANITARY SEWER TABLE					
STRUCTURE	T/RIM	INVERT	SIZE	DIRECTION	PIPE TYPE
SA-A	625.50	617.21	4"	E	PVC
		619.21	4"	W	PVC
CO-A	626.00	619.63	4"	E	PVC

EXISTING SANITARY SEWER TABLE					
STRUCTURE	T/RIM	INVERT	SIZE	DIRECTION	PIPE TYPE
SA-1	626.07	617.45	8"	N	PVC
		617.42	8"	S	PVC
SA-2	625.04	615.41	8"	N	PVC
		614.01	8"	N	PVC
		613.61	10"	E	PVC
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EXISTING STORM SEWER TABLE					
STRUCTURE	T/RIM	INVERT	SIZE	DIRECTION	PIPE TYPE
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		622.13	12"	S	CONC
ST-2	624.97	622.22	12"	E, N	CONC
ST-3	623.90	619.71	12"	SW, N, E	CPP
ST-4	623.92	619.54	18"	W	CONC
		619.62	12"	NE	CPP
		620.32	15"	S	CONC
CB-1	624.78	622.18	12"	SW, E	CONC
		623.05	4"	NE	PVC
		623.17	4"	S	PVC
CB-2	624.35	622.11	12"	W, E	CONC
		622.40	4"	N, S	PVC
CB-3	623.53	620.35	4"	S	CONC
		619.13		N	SQ. GRATE OUTLET
CB-4	623.56	620.00	12"	S	CPP
		620.41	4"	N	CONC
CB-5	623.35	620.48	15"	N	CONC
		620.86	6"	E	PVC
		620.85	6"	W	PVC

GRADING LEGEND

972	EXISTING MINOR CONTOUR
975	EXISTING MAJOR CONTOUR
972.0	PROPOSED MINOR CONTOUR
975.0	PROPOSED MAJOR CONTOUR
975.00	PROPOSED SPOT GRADE
M:975.00	MATCH SPOT GRADE

20 0 20 40

SCALE 1"= 20'

STATE OF OHIO
BRANDI L. SCHROEDER
E-88906
REGISTERED
PROFESSIONAL ENGINEER

DATE	BY	DESCRIPTION	NO.

REVISIONS

TOMSHACK'S PROPOSED BUILDING SITE PLAN

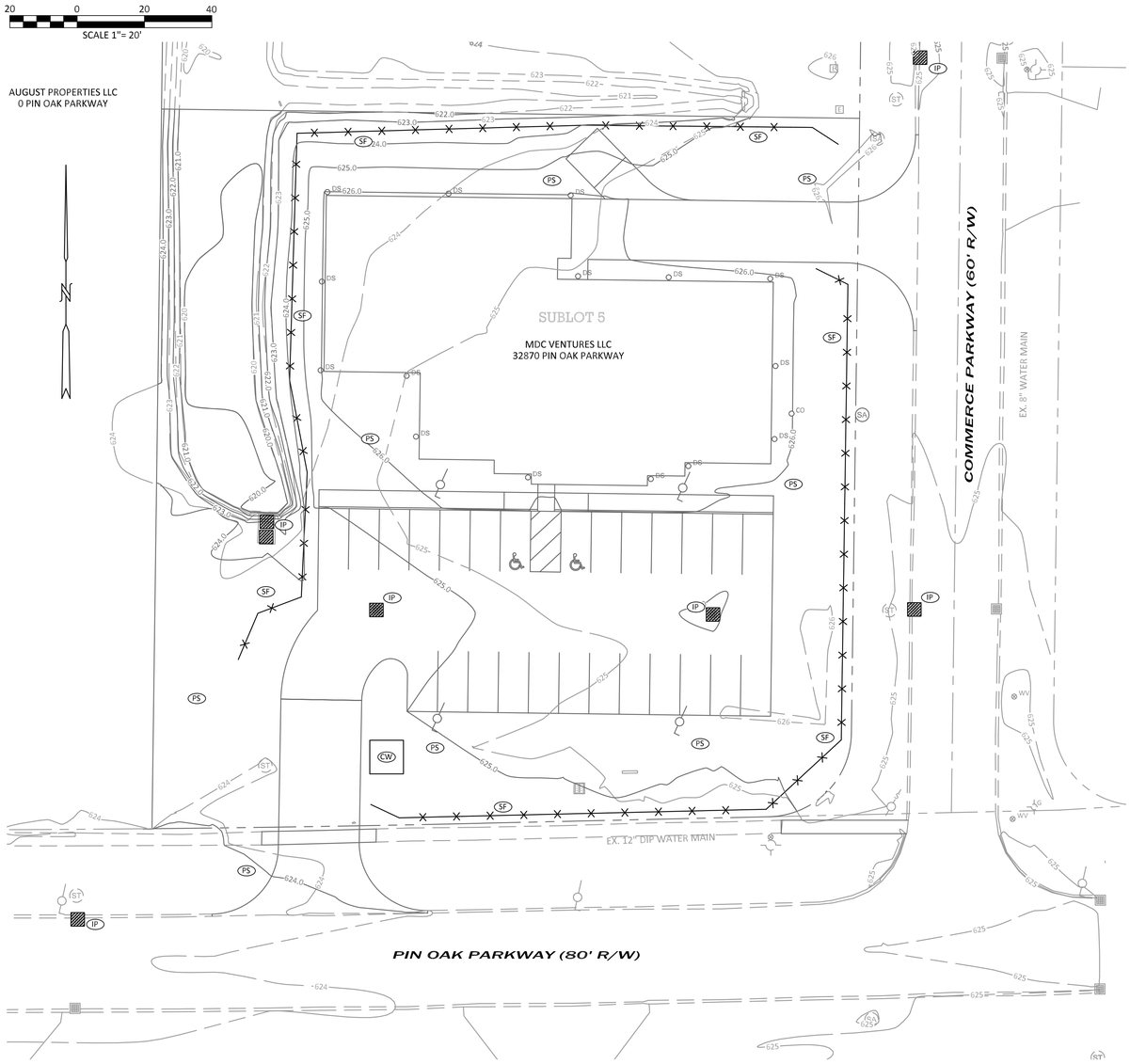
PROPOSED UTILITY & GRADING PLAN
CITY OF AVON LAKE, LORAIN COUNTY, OHIO

5
6

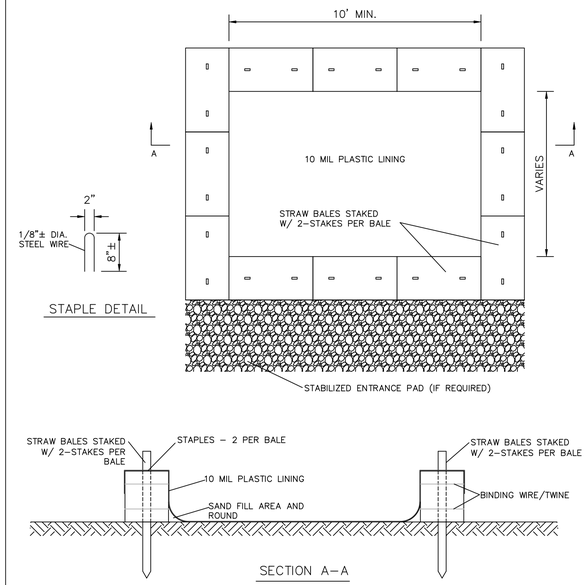
CONTRACTORS DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

SCALE:	DATE:	CK'D BY:	PROJECT NO.
1"=20'	MAY 28, 2025	AEW	24-393
	DR. BY: HEC, BLS	REV'D BY:	

File Name: Z:\CDEng\24\24-393-Tomshack-680 Commerce Pkwy\Site Plan\24-393.dwg



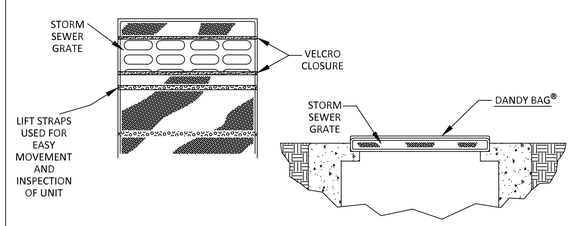
STRAW BALE CONCRETE "WASHOUT"



NOTE:
THE CONTRACTOR INTENDS FOR THE CONCRETE TRUCKS TO RETURN TO THEIR SITE FOR "WASHOUT". SHOULD A CONCRETE TRUCK "WASHOUT" BE LOCATED ON SITE, IT WILL BE PER THE ABOVE DETAIL AND ALL CONCRETE TRUCKS WILL USE FOR WASHOUT. (SUGGESTED LOCATION REFLECTED ON PLANS.)

NOTES:
1. CONCRETE WASHOUT PIT PER DETAIL
2. THERE SHOULD BE SIGNAGE INDICATING LOCATION
3. WHEN WASHOUT AREA REACHES 75% OF CAPACITY IT SHOULD BE CLEANED AND THE CONCRETE WASTE DISPOSED OF OFFSITE.
4. WHEN AREA IS NO LONGER NEEDED, IT SHOULD BE CLEANED AND THE CONCRETE WASTE DISPOSED OF OFFSITE AND THE AREA RETURNED TO ITS ORIGINAL CONDITION
5. AREA SHOULD BE INSPECTED DAILY TO ENSURE THAT THERE IS NO LEAKAGE FROM THE AREA.

"DANDY BAG" INLET SEDIMENT FILTER



"DANDY BAG" INSTALLATION & DETAIL

NOTES:
1. INLET PROTECTION SHALL BE PLACED AROUND ALL EXISTING CATCH BASINS AND STORM MANHOLES, AS SHOWN.
2. ALL NEW CATCH BASINS SHALL HAVE INLET PROTECTION INSTALLED AS SOON AS POSSIBLE AFTER CONSTRUCTION OF CATCH BASIN

SPECIFICATIONS FOR PERMANENT SEEDING

Site Preparation

1. Subsoiler, plow, or other implement shall be used to reduce soil compaction and allow maximum infiltration. (Maximizing infiltration will help control both runoff rate and water quality.) Subsoiling should be done when the soil moisture is low enough to allow the soil to crack or fracture.
   Subsoiling shall not be done on slip-prone areas where soil preparation should be limited to what is necessary for establishing vegetation.
2. The site shall be graded as needed to permit the use of conventional equipment for seedbed preparation and seeding.
3. Topsoil shall be applied where needed to establish vegetation.

Seedbed Preparation

1. Lime—Agricultural ground limestone shall be applied to acid soil as recommended by a soil test. In lieu of a soil test, lime shall be applied at the rate of 100 pounds per 1,000-sq. ft. or 2 tons per acre.
2. Fertilizer—Fertilizer shall be applied as recommended by a soil test. In place of a soil test, fertilizer shall be applied at a rate of 25 pounds per 1,000-sq. ft. or 1000 pounds per acre of a 10-10-10 or 12-12-12 analyses.
3. The lime and fertilizer shall be worked into the soil with a disk harrow, spring-tooth harrow, or other suitable field implement to a depth of 3 inches. On sloping land, the soil shall be worked on the contour.

Seeding Dates and Soil Conditions

Seeding should be done March 1 to May 31 or August 1 to September 30. If seeding occurs outside of the above-specified dates, additional mulch and irrigation may be required to ensure a minimum of 80% germination. Tillage for seedbed preparation should be done when the soil is dry enough to crumble and not form ribbons when compressed by hand. For winter seeding, see the following section on dormant seeding.

Dormant Seedings

1. Seedings should not be made from October 1 through November 20. During this period, the seeds are likely to germinate but probably will not be able to survive the winter.
2. The following methods may be used for "Dormant Seeding":
- From October 1 through November 20, prepare the seedbed, add the required amounts of lime and fertilizer, then mulch and anchor. After November 20, and before March 15, broadcast the selected seed mixture. Increase the seeding rates by 50% for this type of seeding.
- From November 20 through March 15, when soil conditions permit, prepare the seedbed, lime and fertilize, apply the selected seed mixture, mulch and anchor. Increase the seeding rates by 50% for this type of seeding.
- Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydro-seeder (slurry may include seed and fertilizer) on a firm, moist seedbed.
- Where feasible, except when a cultipacker type seeder is used, the seedbed should be firmed following seeding operations with a cultipacker, roller, or light drag. On sloping land, seeding operations should be on the contour where feasible.

Mulching

1. Mulch material shall be applied immediately after seeding. Dormant seeding shall be mulched. 100% of the ground surface shall be covered with an approved material.
2. Materials
- Straw—If straw is used it shall be unrotted small-grain straw applied at the rate of 2 tons per acre or 90 pounds (two to three bales) per 1,000-sq. ft. The mulch shall be spread uniformly by hand or mechanically applied so the soil surface is covered. For uniform distribution of hand-spread mulch, divide area into approximately 1,000-sq.-ft. sections and spread two 45-lb. bales of straw in each section.
- Hydroseeders—If wood cellulose fiber is used, it shall be applied at 2,000 lb./ac. or 46 lb./1,000 sq. ft.
- Other—Other acceptable mulches include rolled erosion control mattings or blankets applied according to manufacturer's recommendations or wood chips applied at 6 tons per acre.

3. Straw and Mulch Anchoring Methods
Straw mulch shall be anchored immediately to minimize loss by wind or water.
- Mechanical—A disk, crimper, or similar type tool shall be set straight to punch or anchor the mulch material into the soil. Straw mechanically anchored shall not be finely chopped but, generally, be left longer than 6 inches.
- Mulch Netting—Netting shall be used according to the manufacturer's recommendations. Netting may be necessary to hold mulch in place in areas of concentrated runoff and on critical slopes.
- Asphalt Emulsion—Asphalt shall be applied as recommended by the manufacture or at the rate of 160 gallons per acre.
- Synthetic Binders—Synthetic binders such as Acrylic DLR (Agri-Tac), DCA-70, Petroset, Terra Tack or equivalent may be used at rates specified by the manufacturer.
- Wood Cellulose Fiber—Wood cellulose fiber shall be applied at a net dry weight of 750 pounds per acre. The wood cellulose fiber shall be mixed with water with the mixture containing a maximum of 50 pounds cellulose per 100 gal- lons of water.

Irrigation

Permanent seeding shall include irrigation to establish vegeta- tion during dry weather or on adverse site conditions, which require adequate moisture for seed germination and plant growth.

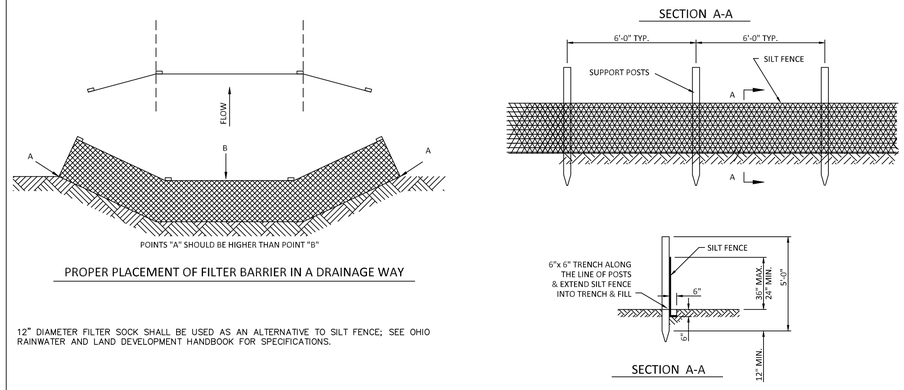
Irrigation rates shall be monitored to prevent erosion and dam- age to seeded areas from excessive runoff.

Table 7.10.2 Permanent Seeding

Seed Mix	Seeding Rate		Notes:
	Lbs./acre	Lbs./1,000 Sq. Feet	
General Use			
Creeping Red Fescue Domestic Ryegrass Kentucky Bluegrass	20-40 10-20 20-40	1/2-1 1/4-1/2 1/2-1	For close mowing & for waterways with <2.0 ft/sec velocity
Tall Fescue	40-50	1-1 1/4	
Turf-type (dwarf) Fescue	90	2 1/4	
Steep Banks or Cut Slopes			
Tall Fescue	40-50	1-1 1/4	
Crown Vetch Tall Fescue	10-20 20-30	1/4-1/2 1/2-3/4	Do not seed later than August
Flat Pea Tall Fescue	20-25 20-30	1/2-3/4 1/2-3/4	Do not seed later than August
Road Ditches and Swales			
Tall Fescue	40-50	1-1 1/4	
Turf-type (Dwarf) Fescue Kentucky Bluegrass	90 5	2 1/4 0.1	
Lawns			
Kentucky Bluegrass Perennial Ryegrass	100-120	2 2	
Kentucky Bluegrass Creeping Red Fescue	100-120	2 1-1/2	For shaded areas

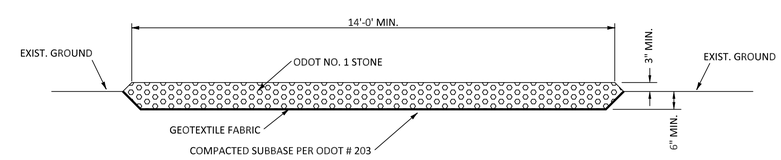
Note: Other approved seed species may be substituted.

PERIMETER PROTECTION - SILT FENCE



12" DIAMETER FILTER SOCK SHALL BE USED AS AN ALTERNATIVE TO SILT FENCE; SEE OHIO RAINWATER AND LAND DEVELOPMENT HANDBOOK FOR SPECIFICATIONS.

CONSTRUCTION ENTRANCE



NOTES:
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE A MINIMUM OF 70 FT. LONG.
- GEOTEXTILE FABRIC SHALL HAVE AN OPENING SIZE (EOS) OF 20-40 SIEVE AND BE RESISTANT TO SUNLIGHT.

NOTES:
1. CONTRACTOR WILL INSTALL A "STABILIZED CONSTRUCTION ENTRANCE". IT WILL BE PER THE ABOVE DETAIL AND ALL VEHICLES ENTERING OR LEAVING THE SITE WILL USE THE ENTRANCE TO CLEAN MUD & DIRT FROM VEHICLES LEAVING SITE SO THAT NO MATERIAL IS TRACKED ONTO EXISTING ROADWAY.
2. NO TRACKING PERMITTED ONTO PUBLIC ROADS. ALL PAVED STREETS ADJACENT TO THE SITE WILL BE CLEANED AS REQUIRED TO REMOVE EXCESS MUD, DIRT OR ROCK IF TRACKING DOES OCCUR FROM SITE.

SWPPP CONTROLS:

IP - Inlet Protection
PS - Permanent Seeding
CE - Construction Entrance
CW - Concrete Washout
SF - Silt Fence

PROJECT DATA

Total Area (Property with R/W) = 1.00 Acres
Estimated Contractor Disturbed Area = 0.90 Acres
Impervious Area for the Pre-Construction Site = 0.00 Acres
Impervious Area for the Post Construction Site = 0.45 Acres
Runoff Coefficient for Pre-Construction Site = 0.15
Runoff Coefficient for Post Construction Site = 0.51

Soil Data
According to the USDA Web Soil Survey the following soils are within construction limits:
Ln: Lorain silty clay loam

Prior land use: Undeveloped grass lot
On-site stream conditions: No on-site streams

Sequence of Major Activities:
1. Install erosion control prior to grading and within 7 days of soil disturbing activities.
2. Earthwork (grading) and construct underground utilities.
3. Building pad/foundation.
4. Prepare subgrade, pour curbs and sidewalks.
5. Pave site.
6. Stripe pavement, plant landscaping, final seeding and mulching of project.

Immediate Receiving Waters: Existing site detention basin
Secondary Receiving Waters: Existing city storm sewer on Pin Oak Parkway

STATE OF OHIO
BRANDI L SCHROEDER
E-88906
REGISTERED
PROFESSIONAL ENGINEER

DATE	BY	DESCRIPTION	NO.

REVISIONS

TOMSHACK'S PROPOSED BUILDING SITE PLAN
STORMWATER POLLUTION PREVENTION PLAN & DETAILS
CITY OF AVON LAKE, LORAIN COUNTY, OHIO

6
6

CONTRACTORS DESIGN ENGINEERING
CONSULTING ENGINEERS & SURVEYORS
NORWALK, OHIO

SCALE:	DATE:	CK'D BY:	PROJECT NO.
1"=20'	MAY 28, 2025	AEW	24-393
	DR. BY: HEC, BLS	REV'D BY:	

File Name: Z:\CDEng\A\24-393-Tomshack-680 Commerce Pkwy-Site Plan\24-393.dwg

ZONING REGULATIONS

LORAIN COUNTY
CITY OF AVON LAKE

EXISTING SITE ZONED: I1–LIGHT INDUSTRIAL
PPN: 0400017102225
APPROVED USE: BUSINESS, PROFESSIONAL OFFICES
LOT AREA: 43,537.42 SQ. FT. (.999 ACRES)

PROPOSED COMMERICAL STRUCTURE:
BUILDING AREA: 8,535 SQ FT
TOTAL ASPHALT AREA: 11,630 SQ. FT.
TOTAL PROPOSED IMPERVIOUS AREA: 20,165 SQ. FT.
MAX. LOT COVERAGE: 75%
PROPOSED LOT COVERAGE: 46.3%
MAX. BUILDING HEIGHT: 45'–0"

FRONT BUILDING SETBACK: 60'–0"
REAR BUILDING SETBACK: 25'–0"
SIDE BUILDING SETBACK: 25'–0"

PARKING REQUIRED:
24'–0" MIN. 2 WAY LANE
9'–0" X 18'–0" PARKING STALL MIN.
OFFICE USE 1/400 @ 8,535 SF= 21.3

22 PARKING SPACES REQUIRED
25 PARKING SPACES PROPOSED

LEGEND

EXISTING	PROPOSED	DESCRIPTION
	SA	SANITARY SEWER
	ST	STORM SEWER
	W	WATER MAIN
	G	GAS LINE
	T	TELEPHONE LINE
	E	OVERHEAD ELECTRIC LINE
	E	ELECTRIC LINE
	CATV	CABLE & TELEVISION LINE
	F	FIBER OPTIC LINE
X X	X X	FENCE LINE
1 2	1 2	CENTER LINE
		BASE LINE
		RIGHT OF WAY LINE
MH	ST MH	MANHOLE
CB	CB	CATCH BASIN
CO	CO	CLEANOUT
WV	WV	WATER VALVE
FH	FH	FIRE HYDRANT
WM	WM	WATER METER
GM	GM	GAS METER
WS	WS	WATER SERVICE
GV	GV	GAS VALVE
		POWER POLE
		LIGHT POLE
		POLE W/ DOWN GUY
		TREE
		HEDGE
		SIGN

LEGEND

1. May be reduced to 3'–0" in existing sidewalks if the landing is unconstrained along the back edge.
2. Where landing width (D) has been reduced to 3'–0" the flared sides shall have a maximum slope of 12:1.

   Flared sides are not required where the edges of a curb ramp are protected by landscaping or other barriers to travel by wheel chair users or pedestrians across the edge of the curb ramp. However, if the flared sides are used in these areas, they may be of any slope.
3. The slope of the ramp toward the curb is preferred to be 12:1 or flatter related to the horizontal, but the maximum slope shall be 12:1 relative to the existing or proposed walk slope.

   In existing sidewalks, where the maximum ramp slope (S) is not feasible, it may be reduced as follows:
   A) 10:1 for a max. rise of 6".
   B) 8:1 for a max. rise of 3".
   C) 6:1 over a max. run of 2'–0" for historic areas where a flatter slope is not feasible.
4. The minimum length of a a perpendicular ramp is 6' from the back of a 6" curb and may be increased where feasible to obtain a flatter ramp slope or to better blend with the walk configuration.
5. Gutter counter slopes at the foot of perpendicular curb ramps should not exceed 20:1 over a distance of 2'–0" from the curb.
6. Dimensions derived by equation are nominal. Construct ramps to meet required slopes and existing conditions.
7. Detectable Warnings (truncated domes) are to be installed in the location shown. Dimensions for location of the domes

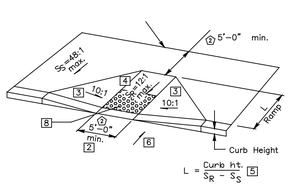
R

Street Slope	Ramp Length @ 1"/ft	
	$L_{LOW\ SIDE}$ *	$L_{HIGH\ SIDE}$ *
0.01	5'–5"	6'–10"
0.02	4'–10"	7'–11"
0.03	4'–5"	9'–5"
0.04	4'–1"	11'–8"
0.05	3'–9"	15'–2"

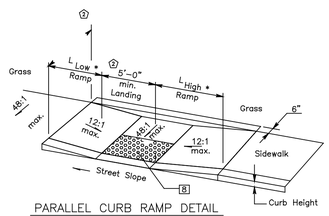
* Measured along the back of a 6" high curb.

$$L_{HIGH} = \frac{\text{Curb ht.}}{0.083 - \text{Street Slope}} \quad [7]$$

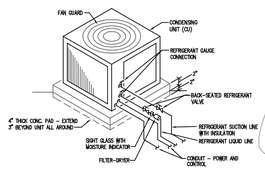
$$L_{LOW} = \frac{\text{Curb ht.}}{0.083 + \text{Street Slope}} \quad [7]$$



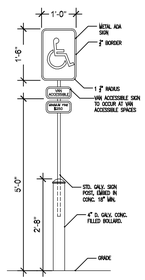
PERPENDICULAR CURB RAMP DETAIL



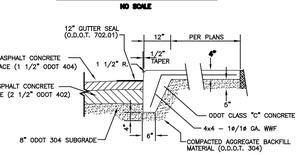
PARALLEL CURB RAMP DETAIL (DOUBLE)



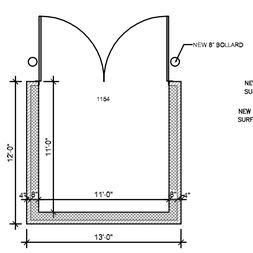
CONDENSING UNIT INSTALLATION DETAIL
NO SCALE



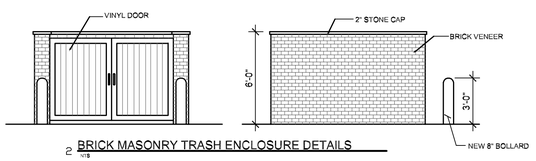
H.C. SIGN POST DETAIL



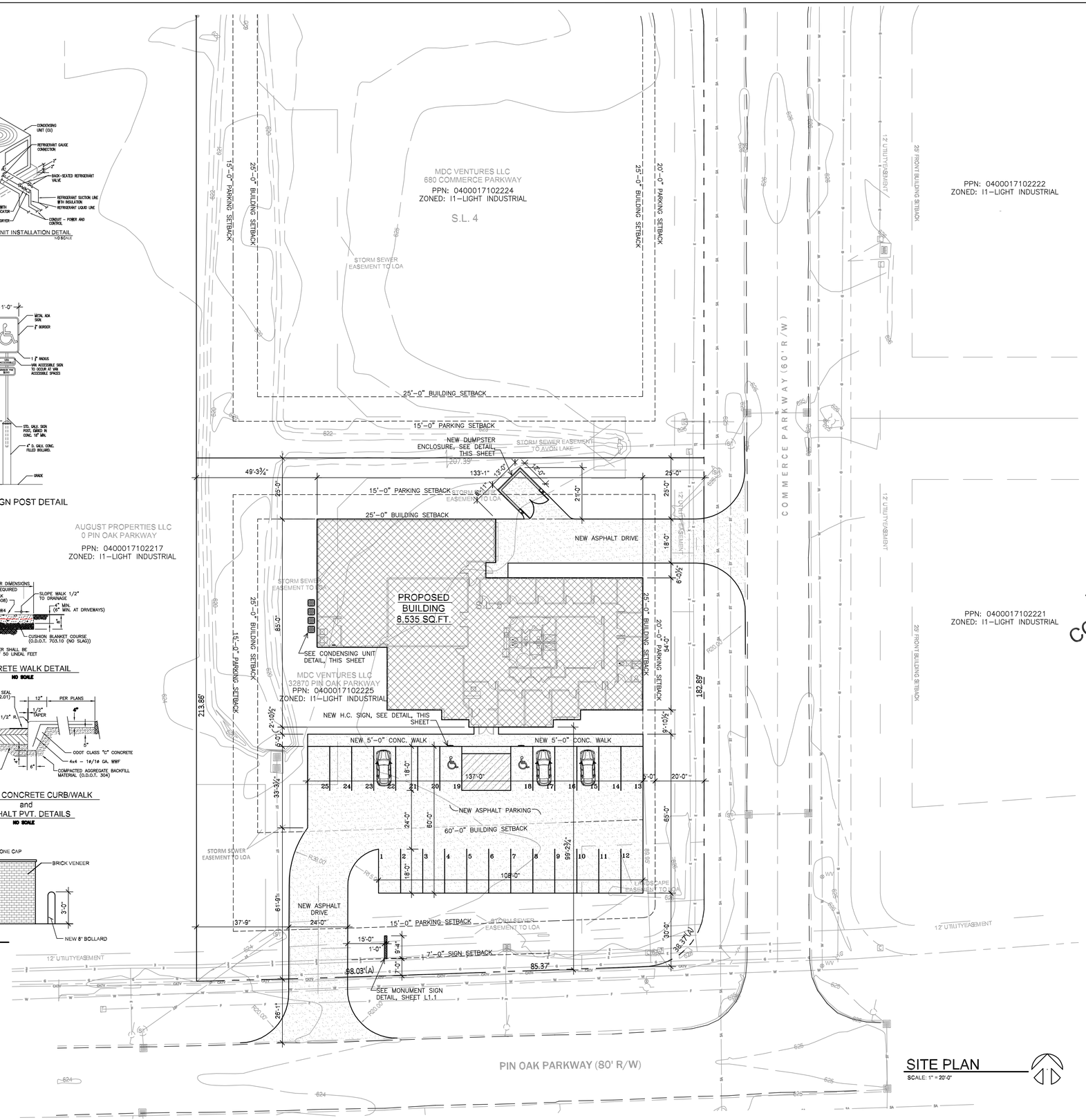
CONCRETE WALK DETAIL
NO SCALE



INTEGRAL CONCRETE CURB/WALK
and
ASPHALT PVT. DETAILS
NO SCALE



2 BRICK MASONRY TRASH ENCLOSURE DETAILS
NTS



SITE PLAN
SCALE: 1" = 20'-0"

REV.	DATE

LS ARCHITECTS
22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-715-8637

NOT FOR CONSTRUCTION
LEON S. SAMPAT
OHIO
REGISTERED

LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

JOB NO: 24-222
DATE: 12.11.2024
ISSUE: REVIEW
SHEET:
SD1.1

ZONING REGULATIONS

LORAIN COUNTY
CITY OF AVON LAKE

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PPN: 0400017102225
APPROVED USE: BUSINESS, PROFESSIONAL OFFICES
LOT AREA: 43,537.42 SQ. FT. (.999 ACRES)

PROPOSED COMMERICAL STRUCTURE:
BUILDING AREA: 8,535 SQ FT
TOTAL ASPHALT AREA: 11,630 SQ. FT.
TOTAL PROPOSED IMPERVIOUS AREA: 20,165 SQ. FT.
MAX. LOT COVERAGE: 75%
PROPOSED LOT COVERAGE: 46.3%

LANDSCAPE SPECIFICATIONS

1. CONTRACTOR TO VERIFY UTILITY ROUTINGS AND COORDINATE THIS WORK WITH EXISTING UTILITY LOCATIONS. ADJUST PLANT MATERIAL ACCORDINGLY.
2. PROVIDE DOUBLE SHREDDED HARDWOOD BARK MULCH 3" DEEP MIN. AT ALL PLANTING BEDS. PROVIDE A MIN. 3' DIAMETER MULCH BED AROUND EACH INDIVIDUAL TREE UNLESS TREES ARE INCORPORATED IN A PLANTING BED.
3. ONCE FINAL GRADE IS ESTABLISHED, ALL PLANTING BEDS TO RECEIVE A MIN. 6" DEPTH OF SOIL MIX. SOIL MIX SHALL OF 50% SCREENED TOPSOIL, 25% SAND AND 25% LEAF HUMUS. ALL SEEDED AREAS TO RECEIVE A MINIMUM OF 2" OF CLEAN FINE GRADED TOPSOIL, FREE OF ALL ROCKS AND DELETERIOUS DEBRIS.
4. CONTRACTOR TO APPLY STARTER FERTILIZER (20–26–6) OR APPROVED SIMILAR FOR ALL LAWN AND PLANT MATERIAL.
5. CONTRACTOR TO SEED ALL DISTURBED AREAS. SEEDING TYPES AND PERCENTAGES ARE AS FOLLOWS:

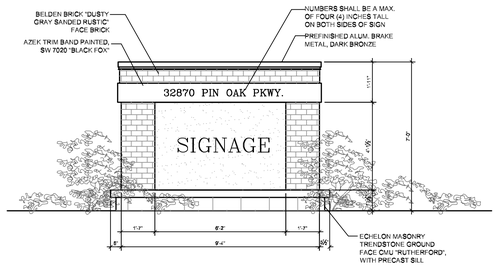
SEED SCHEDULE (OR APPROVED SIMILAR)

SEED TYPE	PERCENTAGE
KENTUCKY BLUEGRASS	45%
PENNLAWN RED FESCUE	15%
PERENNIAL RYEGRASS	40%

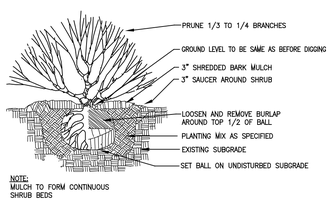
6. MAINTENANCE OF LANDSCAPING / GROUND COVER REQUIRED :ALL GROUND COVER AND LANDSCAPING SHALL BE WELL MAINTAINED AND KEPT REASONABLY WEED FREE. DEAD OR DISEASED PLANT MATERIAL SHALL BE IMMEDIATELY REPLACED.

7. WARRANTY one–year warranty on all deciduous, evergreen and perennial plants, price installation appropriately for possible replacements.

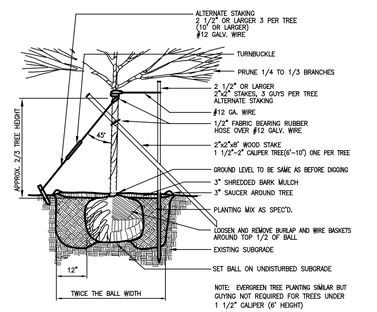
NOTE:
ALL LANDSCAPED AREAS SHALL BE SERVICED BY AN UNDERGROUND IRRIGATION SYSTEM.



1 GROUND SIGN
NTS



SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	WIDTH	COND.	NOTES
BLG	76	MORTON ARBORETUM	BLUE LYME GRASS	3'	2'–3'		
BW	58	BUXUS	GREEN VELVET BOXWOOD	24"–30"	24"–30"		
JSB	34	JUNIPERUS SABINA "BROADMOOR"	JUNIPER "BROADMOOR"	15"–20"	15"–20"		
DBB	5	EUONYMUS ALATUS COMPACTUS	DWARF BURNING BUSH	6'–0'	8'–0'		
RM	4	ACER RUBRUM	RED ARMSTRONG MAPLE	50'–0"			
JBG	–	IMPERATA CYLINDRICA 'RED BARON'	JAPANESE BLOOD GRASS	2'–0"			
HL	3	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEYLOCUST	60'–0"		B&B	

JUNIPER "BROADMOOR"

DWARF BURNING BUSH

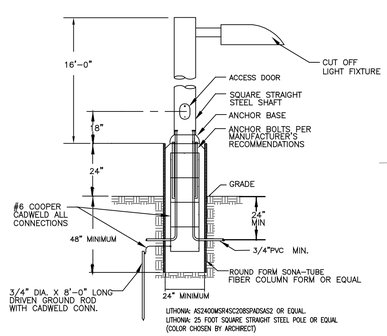
BLUE LYME GRASS

GREEN VELVET BOXWOOD

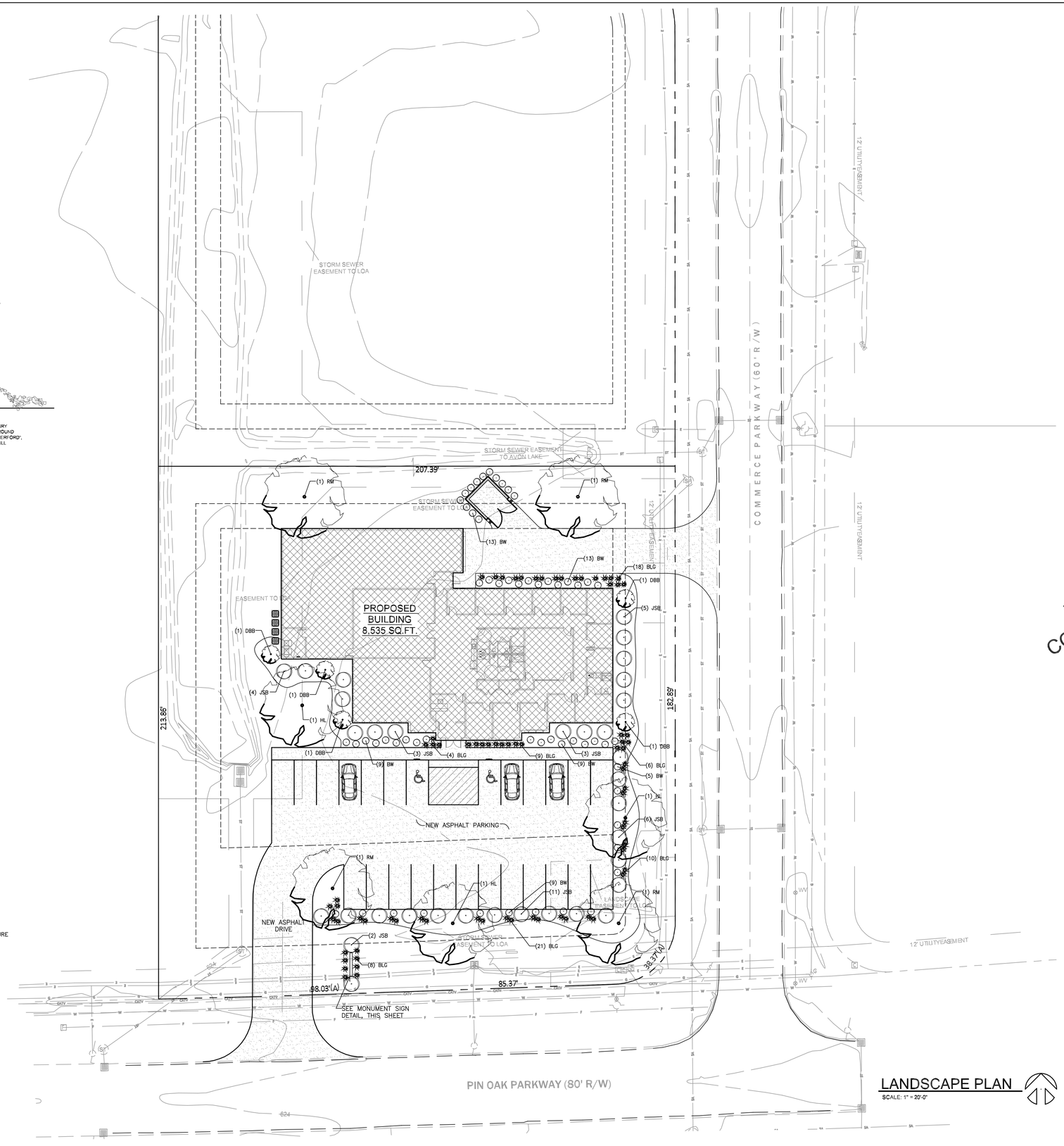
THORNLESS HONEYLOCUST

RED ARMSTRONG MAPLE

JAPANESE BLOOD GRASS



POLE MTD. TYPE "A" FIXTURE DETAIL
N.T.S.



LANDSCAPE PLAN
SCALE: 1" = 20'-0"

REV.	DATE

LS ARCHITECTS
22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-715-8637

STATE OF OHIO LEON S. SAMPAT REGISTERED
NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

JOB NO: 24-222
DATE: 12.11.2024
ISSUE: REVIEW
SHEET:
L1.1

FLOOR PLAN

SCALE: 3/16" = 1'-0"

TOTAL AREA: 8,335 SQ. FT.

REV.	DATE

LS ARCHITECTS
22082 LORAN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-716-8837

NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENSE# 13063
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

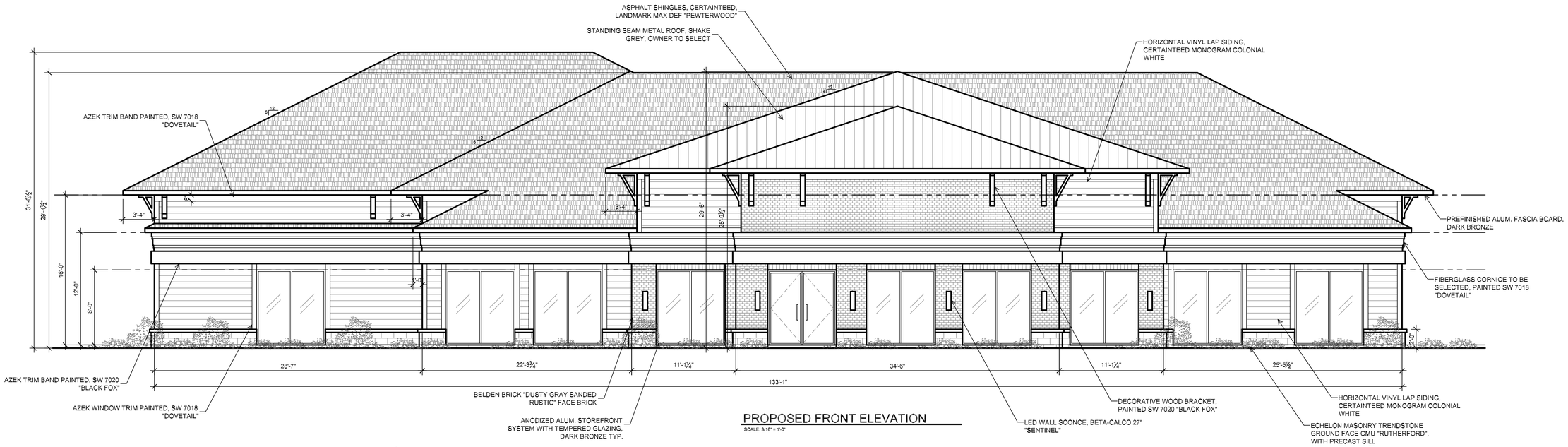
JOB NO: 24-222

DATE: 12.11.2024

ISSUE: REVIEW

SHEET:

A1.1



PROPOSED FRONT ELEVATION

SCALE: 3/16" = 1'-0"

PROPOSED LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

REV.	DATE

LS ARCHITECTS
22082 LORAN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-716-8837

NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

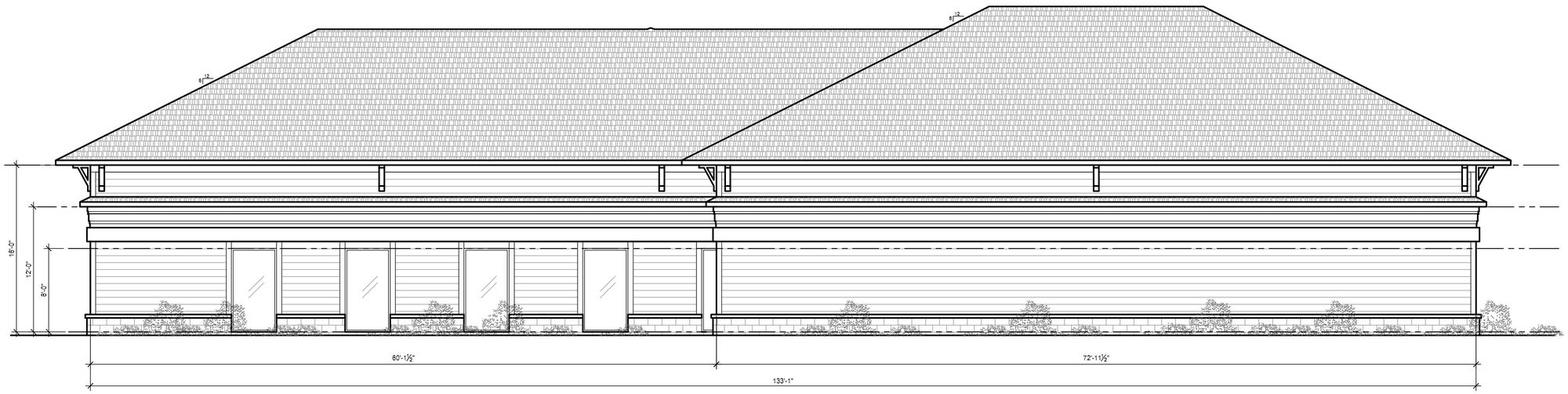
JOB NO: 24-222

DATE: 12.11.2024

ISSUE: REVIEW

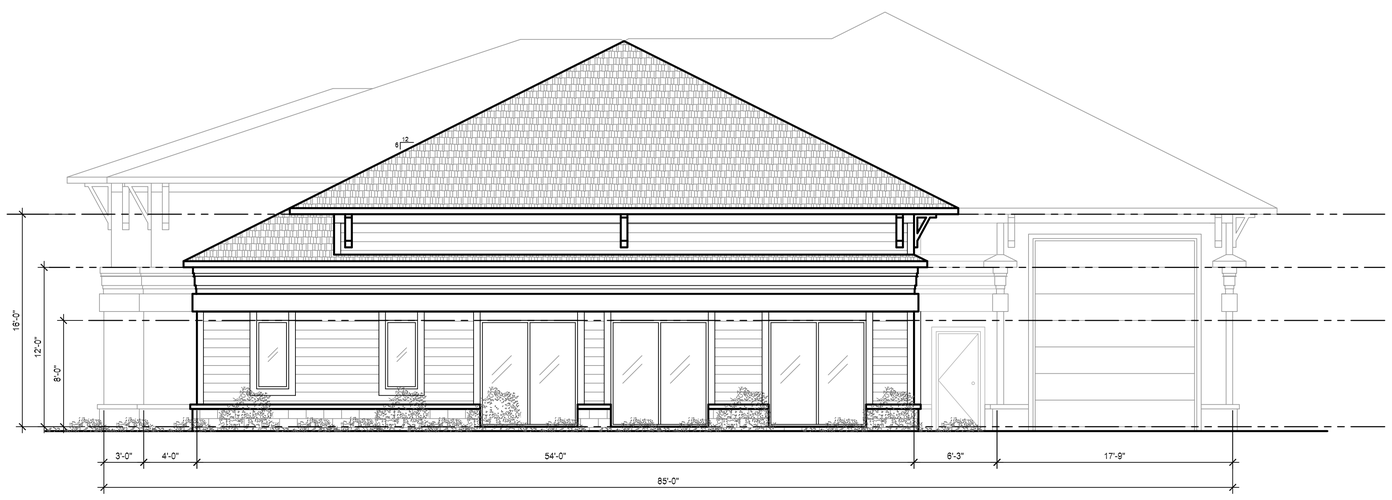
SHEET:

A2.1



PROPOSED REAR ELEVATION

SCALE: 3/16" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0"

REV.	DATE

LS ARCHITECTS
22082 LORAN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-716-8837

STATE OF OHIO
LEON S. SAMPAT
13053
REGISTERED ARCHITECT

NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
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JOB NO: 24-222

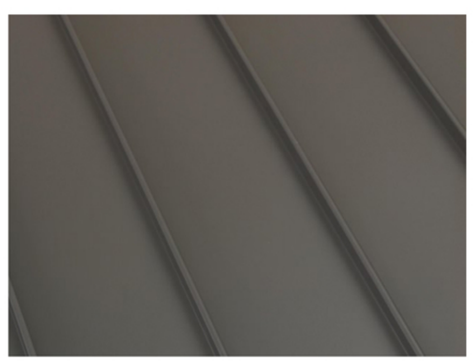
DATE: 12.11.2024

ISSUE: REVIEW

SHEET:

A2.2

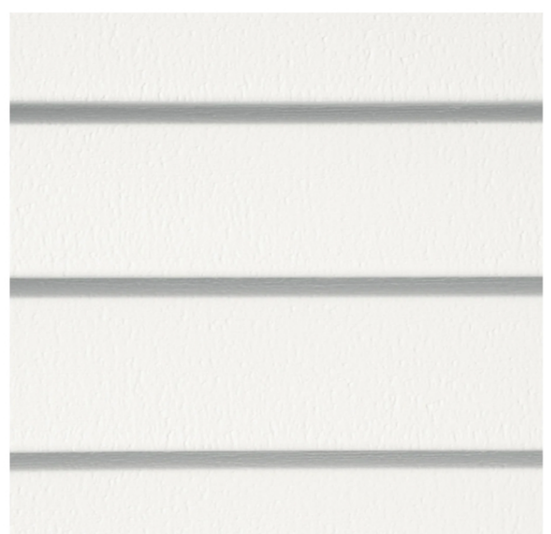
ASPHALT SHINGLES, CERTAINTEED-
LANDMARK, MAX DEF PEWTERWOOD



STANDING SEAM METAL
ROOF, SHAKE GREY

"BLACK FOX" SHERWIN WILLIAMS
7020

"DOVETAIL" SHERWIN WILLIAMS
7018



VINYL SIDING, CERTAINTEED MONOGRAM
COLONIAL WHITE

FACEBRICK, BELDEN
BRICK "DUSTY GRAY
SANDED RUSTIC"

CMU, ECHELON MASONRY -TRENDSTONE, GROUND
FACE "RUTHERFORD"

BETA CALCO "SENTINEL" 27"
LED WALL SCONCE

REV.	DATE

LS ARCHITECTS
22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-8654 FAX 440-716-8837

NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

JOB NO: 24-222

DATE: 12.11.2024

ISSUE: REVIEW

SHEET:

M.1

REV.	DATE

LS ARCHITECTS
22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-716-8837

NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

JOB NO: 24-222

DATE: 12.11.2024

ISSUE: REVIEW

SHEET:

R.1

REV.	DATE

LS ARCHITECTS
22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-716-8837

NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENSE# 13093
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

JOB NO: 24-222

DATE: 12.11.2024

ISSUE: REVIEW

SHEET:

R.2

REV.	DATE

LS ARCHITECTS
22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 216-403-9654 FAX 440-716-8837

STATE OF OHIO
LEON S. SAMPAT
REGISTERED ARCHITECT

NOT FOR CONSTRUCTION

LEON S. SAMPAT
LICENS#: 13053
EXPIRATION DATE 12/31/2025

NEW BUILDING FOR:
TOMSHACK
32870 PIN OAK PARKWAY
AVON LAKE, OH

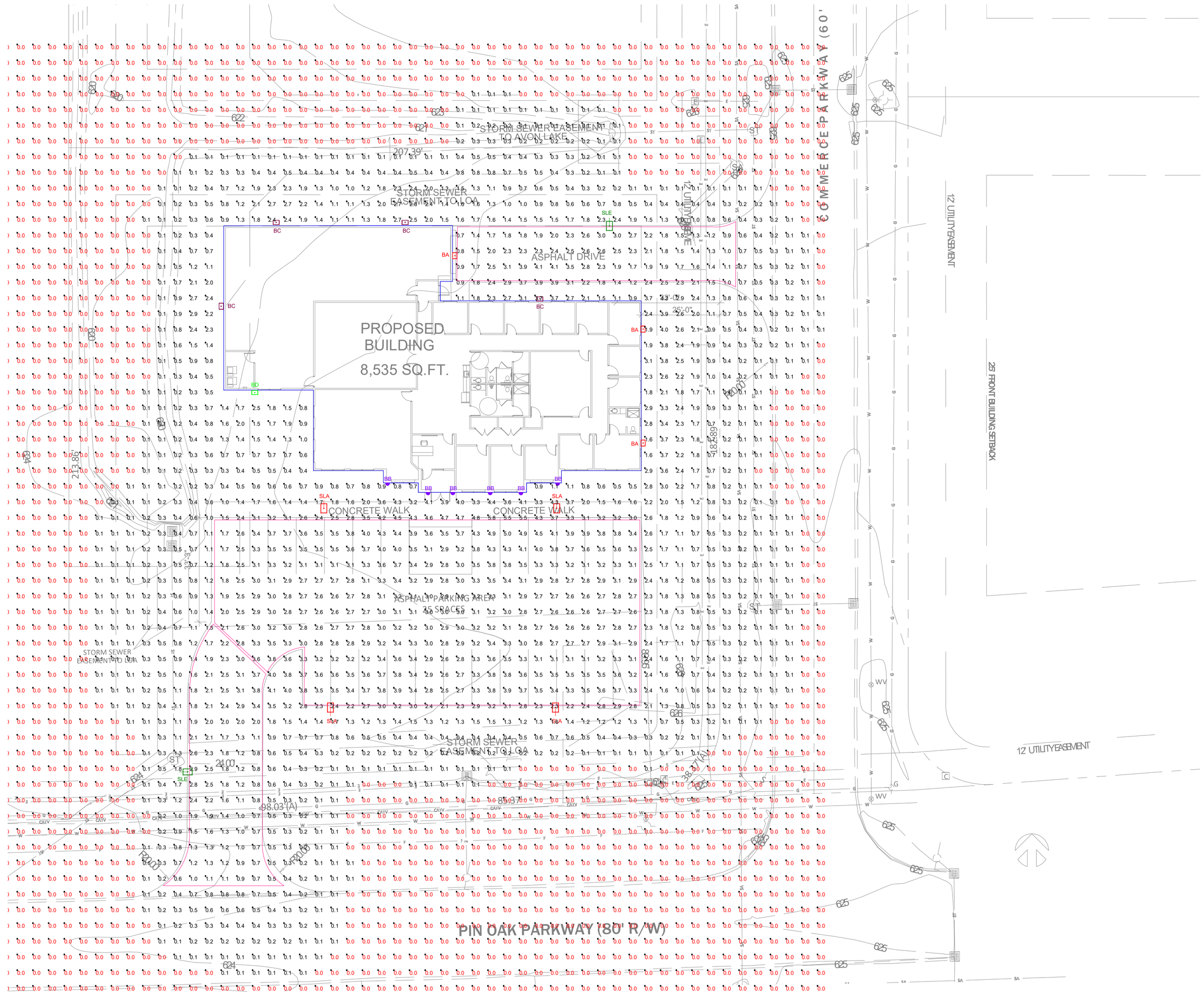
JOB NO: 24-222

DATE: 12.11.2024

ISSUE: REVIEW

SHEET:

R.3



Luminaire Schedule							
Symbol	Qty	Label	LLF	Luminaire Lumens	Description	Filename	Luminaire Watts
	3	BA	0.900	2293	CURRENT: LNC2-48L-20-4K7-4W-UNV-DBT-(WALL MOUNT 16' A.F.G.)	LNC2-48L-20-4K7-4W.ies	20
	6	BB	0.900	1069	BETA-CALCO: ENTE1E01-FL27-CR80-V1-CTA40-CT800-CTC00-BA00-FA47-VBO-E0-(WALL MOUNT 6.3' TO CENTER OF FIXTURE)	ENTE1E01-FL27-CR80-CTA40-FA47.ies	14
	4	BC	0.900	1539	CURRENT: LNC-7LU-4K-3-UNV-DBT-(WALL MOUNT 8' A.F.G.	LNC-7LU-4K-3.ies	17
	1	BD	0.900	1535	CURRENT: LNC-7LU-4K-4-UNV-DBT-(WALL MOIUNT 8' A.F.G.)	LNC-7LU-4K-4.ies	17
	4	SLA	0.900	9029	BEACON LIGHTING: VP-1-160L-75-4K7-4W-UNV-A-DBT-HSS-90-B-SSS-B-16-40-A-1-DBT-XX	VP-1-160L-75-4K7-4W-HSS-90-B.ies	72
	2	SLE	0.900	4690	BEACON LIGHTINGG: VP-1-160L-35-4K7-3-UNV-A-DBT-HSS-90-B-SSS-B-16-40-A-1-DBT-XX	VP-1-160L-35-4K7-3-HSS-90-B.ies	35

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
north drive	Illuminance	Fc	2.19	4.1	0.9	2.43	4.56
parking area	Illuminance	Fc	3.14	5.0	1.7	1.85	2.94
south entrance drive	Illuminance	Fc	1.74	3.8	0.5	3.48	7.60

NOTES:
1. ILLUMINANCE LEVELS TAKEN ON THE PAVEMENT.
2. DARK BRONZE FINISH

PHOTOMETRIC STUDY
Scale: 1' = 20' - 0"

AGI32

SAMPLE BANNER

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Lighting Analysts

www.lightinganalysts.com

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#	Date	Comments

Revisions

Drawn By:
Checked By:
Date:1/20/2025
Scale:

TOMSHACK Building

Site Lighting Photometric Study

01-20-2025

AVON CENTER ESTATES NO. 2 PHASE VI– PRELIMINARY PLAN

Report

To: Planning Commission

From: Kelly La Rosa, Planning and Zoning Manager

Date: May 29, 2025

Re: Case No. CPC-25-6, Legacy Pointe LTD, Major Subdivision Preliminary Plan Approval for Avon Center Estates No. 2, Phase VI, located in the southwest quadrant of Avon Lake.

PROJECT OVERVIEW

Avon Center Estates No. 2, Phase VI represents the final phase of a long-term, multi-phased residential development by Kopf Builders. Located in the southwest quadrant of Avon Lake this project completes the buildout of the original Avon Center Estates No. 2 plan. Through five prior phases, Kopf has incrementally assembled fragmented parcels and replaced outdated grid patterns with modern residential layouts. Phase VI proposes 48 single-family lots and introduces a revised public street network with upgraded infrastructure consistent with current subdivision design and zoning standards as adopted in the 2022 Planning and Zoning Code. The subdivision spans the R-1B, R-1A, and Legacy Pointe Planned Unit Development (PUD) zoning districts.

Figure 1: Maps Data: Google Earth 6/2/2015.

PROJECT DESCRIPTION

Owner: Legacy Pointe LTD, 420 Avon Belden Road, Avon Lake

Engineer: Henry G. Rietz Engineering Co.

Location: Southwest quadrant of Avon Lake and is generally bounded by Walker Road (north), Jaycox Road (east), Krebs Road (south), and State Route 83 (west). It lies within the area originally recorded as Avon Center Estates No. 2 in 1926.

Approvals: The project advances a previously approved 1998 General Development Plan and a delayed 2020 preliminary submittal. The updated proposal incorporates newly acquired parcels and reflects alignment with the 2022 Planning and Zoning Code revisions.

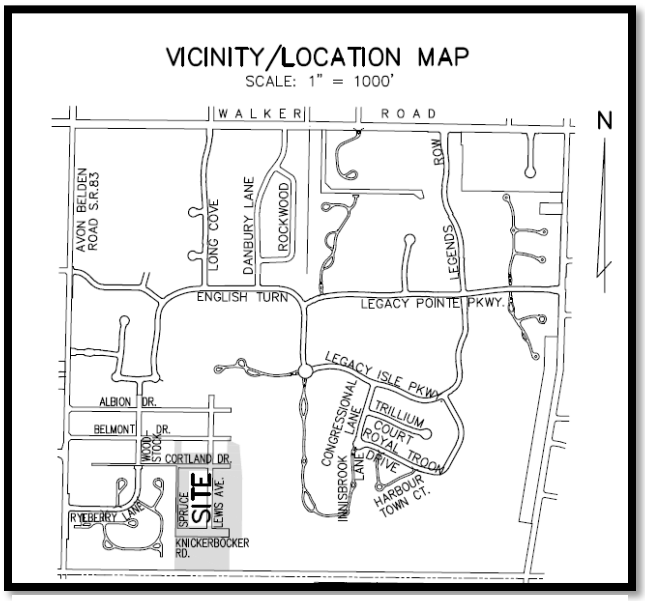


Figure 2: Vicinity Map

Zoning: Combination of R-1B, R-1A, and Legacy Pointe pre-2022 PUD.

Land Use: Low-Density Residential, per the Avon Lake Comprehensive Plan.

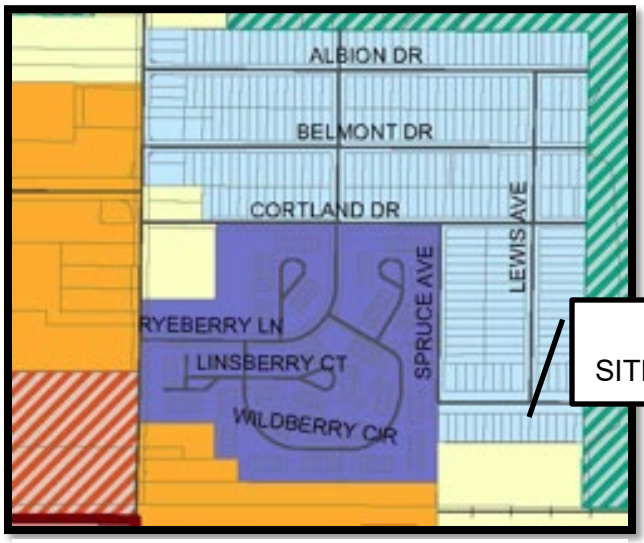


Figure 3: Excerpt from Avon Lake Zoning Map

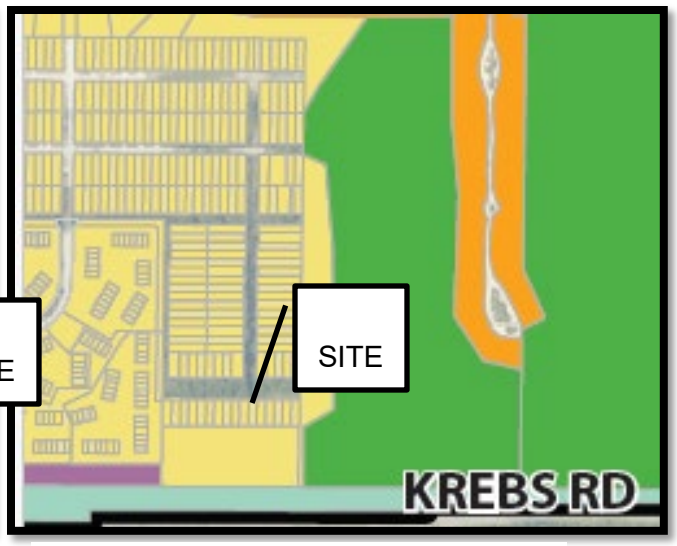


Figure 4: Excerpt from Comprehensive Plan

APPLICABLE CODE SECTIONS

Section 1214.05: Major Subdivision

This section governs the review of major subdivisions, ensuring consistency with zoning regulations, thoroughfare planning, infrastructure requirements, and integration with existing documents.

Section 1238: Subdivision Design Standards

This section defines Subdivision Design Standards, including lot layout, block length, right-of-way configuration, utilities, sidewalks, landscaping, and connectivity.

PROJECT ANALYSIS

Phase VI of the Avon Center Estates No. 2 Subdivision includes 48 proposed single-family lots across three zoning districts: R-1B, R-1A, and Legacy Pointe PUD (pre-2022 code). Lot dimensions comply with the applicable standards, including minimum widths and areas as outlined in the Avon Lake Planning and Zoning Code. The subdivision supports the goals of the Comprehensive Land Use Plan by promoting low-density residential development.

All lots will be accessed via public streets, served by municipal utilities, and governed by the Legacy Pointe Homeowners Association, which will be responsible for ongoing maintenance of common areas and private amenities. The project introduces a revised internal street network featuring a looped road and a cul-de-sac, replacing outdated paper streets and reducing potential impacts on surrounding neighborhoods, including the Wildberry townhomes.

While the updated subdivision plan layout is predicated on the eventual vacation of obsolete paper streets shown on the original 1926 plat—such as Spruce Road—the applicant has indicated that a formal vacation plat will be submitted as a separate action, either before or concurrent with the final subdivision plat. The extent and configuration of the vacation will be finalized only after the Planning Commission and City Council review and approve the proposed re-subdivision layout. This approach ensures that no property is left without access and allows the City to assess the vacation in light of a fully reviewed and accepted design.

SUSTAINABILITY CONSIDERATIONS

This development incorporates stormwater basins, drainage infrastructure, and infiltration areas designed per Section 1238 of the Avon Lake Code to reduce runoff, mitigate flood risk, and preserve groundwater recharge post-construction. Post-construction maintenance will be managed through recorded agreements with the HOA in accordance with Chapter 1060.

DEVELOPMENT REVIEW COMMITTEE

The Development Review Committee comprises representatives from Community Development, Engineering, Building, Public Works, Avon Lake Regional Water, Fire, and Police Departments. All responses received to date are included in the attachments.

REVIEW AND RECOMMENDATION BY THE COMMISSION

To approve a major subdivision, the Commission must determine that the Preliminary Plan meets all applicable standards as outlined in Section 1214.05 of the Avon Lake Planning and Zoning Code. The following criteria shall be considered:

1. That the major subdivision complies with all applicable provisions of this code;
2. That the major subdivision does not conflict with other regulations, plans, or policies of the City;
3. That it is designed to be harmonious with the existing immediate or surrounding area or in keeping with the intended character of such area;
4. That it follows the Master Thoroughfare Plan and minimizes traffic congestion in public streets;
5. That it will not adversely affect the delivery of governmental services;
6. That comments from review agencies have been adequately considered and addressed
7. That it conforms to the approved preliminary plan if submitted and approved.

After reviewing the Preliminary Plan, the Commission shall determine whether to return it to the applicant for revisions or to forward a recommendation to the City Council for approval, approval with conditions, or denial. If recommending denial, the Commission must identify the specific review criteria that were not met and provide the reasoning behind that conclusion.

Potential Motions: The Commission must make a motion in the affirmative. At least four affirmative ("yes") votes are required to recommend approval, or four negative ("no") votes are required to recommend denial to the City Council. The sample motion provided below is for guidance only and does not imply a recommendation or predetermined outcome.

I move to recommend to the City Council that Case No. CPC-25-6, submitted by Legacy Pointe LTD, Major Subdivision Preliminary Plan for Avon Center Estates No. 2, Phase VI, be approved, finding that the proposed subdivision complies with applicable zoning and subdivision regulations and serves the public interest, and subject to the following conditions:

1. Clarify and confirm the street frontages for specific lots as follows:
   - Lot 331 fronts Cortland
   - Lot 311 fronts Turnberry
   - Lots 301 and 303 front Knickerbocker
   - Lot 310 fronts Valhalla
   - Lots 295 and 300 front Spyglass

2. Add a note to the plat indicating that the Spyglass Court cul-de-sac island is to be maintained by the Legacy Pointe Homeowners Association.

3. Identify the location of any existing or proposed Cluster Box Unit (CBU) for mail delivery on the plat.

4. At all street intersections, the corner of the property line shall be rounded by a radius of not less than 15 feet, consistent with applicable design standards.

5. The minimum right-of-way radius of 65 feet at the cul-de-sac on Spyglass Court shall be revised on the plat.

6. The applicant shall install individual storm sewer laterals for each sublot rear yard drain instead of a shared lateral system to facilitate maintenance and improve system functionality.

SUBSEQUENT ACTION

Upon receiving approval from the Planning Commission, the Preliminary Plan will be forwarded to the City Council for final review and action. If the Planning Commission recommends denial, the applicant may not proceed with the related components of the subdivision until recommendations for approval are issued.

ATTACHMENTS

- Planning Commission Application
- DRC Comments

CPC-25-6

Planning Commission Application

Status: Active

Submitted On: 4/16/2025

Primary Location

0 CORTLAND DR
AVON LAKE, OH 44012

Owner

LEGACY POINTE LTD
420 AVON BELDEN RD Avon Lake, OH 44012

Applicant

James Sayler
216-251-3033
jts@reitzeng.com
4214 Rocky River Dr.
Cleveland, OH 44135

Property or Parcel Information

Zoning Classification

R-1B, R-1A & PUD

Present Use*

vacant

Type of Request*

Major Subdivision - Preliminary Plat

Preliminary

☑

Final

☐

General Description of Project*

Resubmittal of a preliminary plan for resubdividing and improving streets for 48 lots.

Have you had your meeting with the Development Review Committee?*

No

Your application will not be reviewed until you have met with the Development Review Committee (DRC). Please submit the DRC application before submitting this application.

Applicant Information

Applicant is the Property Owner or Property Owner's Designee.
Project Manager will be the person working closest with the plans and will be the main point of contact for the Planning Department's questions.

Applicant Role*

Subdivider

Applicant Name*

James Sayler

Address*

4214 Rocky River Dr.

City*

Cleveland

State*

OH

Zip*

44135

Phone*

216-251-3033

Email*

jts@reitzeng.com

Project Manager

James Sayler

Project Manager Phone

216-251-3033

Project Manager Email

jts@reitzeng.com

Property Owner Information

Name*

Legacy Pointe Ltd.

Address*

420 Avon Belden Rd.

City*

Avon Lake

State*

OH

Zip*

44012

Phone*

440-933-6908

Signature

Applicant Signature*

James Sayler
Apr 16, 2025

This project is the sixth construction phase of improvements being made to existing paper streets in the Avon Center Estates Subdivision No. 2. The subdivision was recorded in 1926 but only improved with gravel roads at that time and over the years only a few homes were built. Over several decades, most of the 283~40' wide lots were acquired from a multitude of different owners by the Legacy Pointe developers so they could be combined into larger lots that have enough area to be buildable for modern homes. A similar version of this project was submitted to the Planning Department for review in 2020, but the need for these lots was delayed by the market disruption caused by Covid. During the intervening time, the developers were able to acquire a few more of the 40' wide lots and some additional land to the South. Also, because there were revisions made to the zoning code in 2022, it was necessary to revise and re-submit the project.

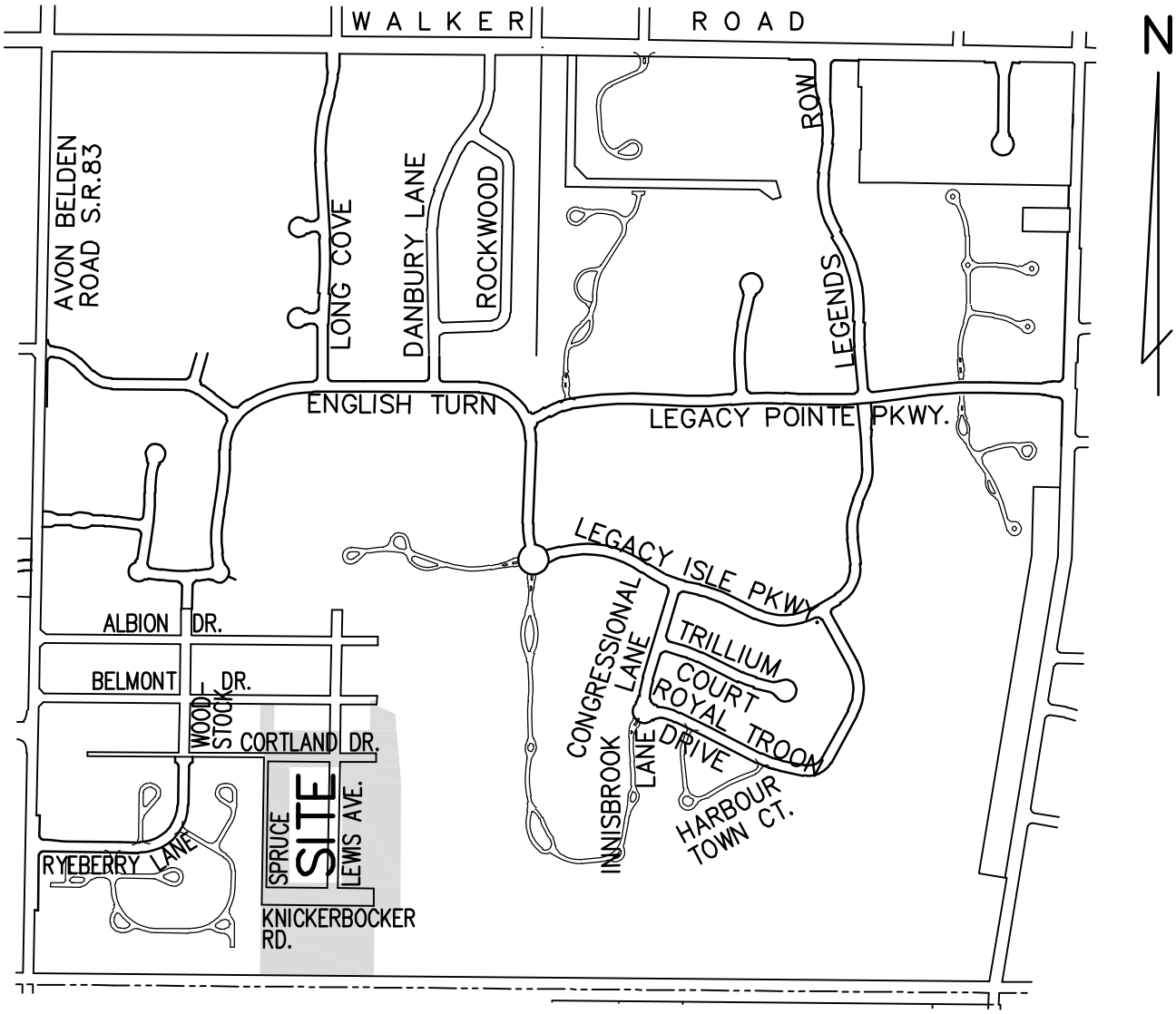
Using the existing dedicated street pattern would not be the best use of the land because improvements to the existing Spruce Ave. right-of-way would result in an undesirable situation for the adjacent Wildberry townhome development. Accordingly, the project proposes to vacate many of the existing rights-of-way to create a street pattern that allows for a more logical and efficient project layout.

The project now consists of 48 single family lots that are distributed across 3 different zoning districts. All lots are proposed to be on public streets with public utilities. The lots that are within the R-1B district will meet the code requirements for 80' width at the setback and 10,000 sq. ft. of area. The lots in the PUD district will have 100' width at the setback and a minimum of 15,000 sq. ft. to meet the criteria of footnote (c) of section 1252.04(f) of the pre-2022 PUD code. The lots in the R-1A district will also have a minimum 100' width but be larger and deeper estate sized lots. All three types of lots will be members of the Legacy Pointe Homeowner Association and be governed by its covenants and restrictions.

The project will be designed in accordance with Avon Lake storm water management and storm water quality standards to promote ecosystem health through flood and erosion reduction provided by a storm water retention basins, ground water replenishment provided through enhanced infiltration practices, sediment control and waste management strategies provided by construction site storm water management controls and post-construction water quality enhancements provided by water quality features included in the design of the water quality basin.

VICINITY/LOCATION MAP

SCALE: 1" = 1000'



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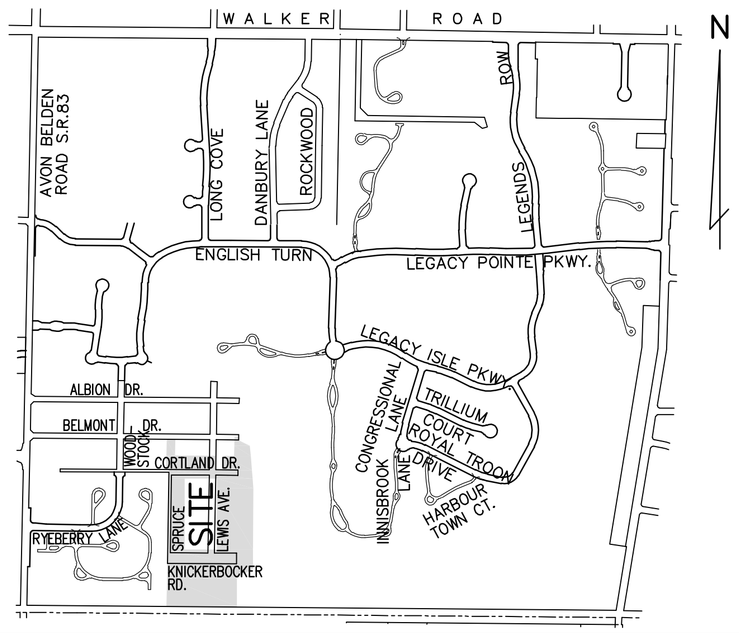
VICINITY/LOCATION MAP

SCALE: 1" = 1000'



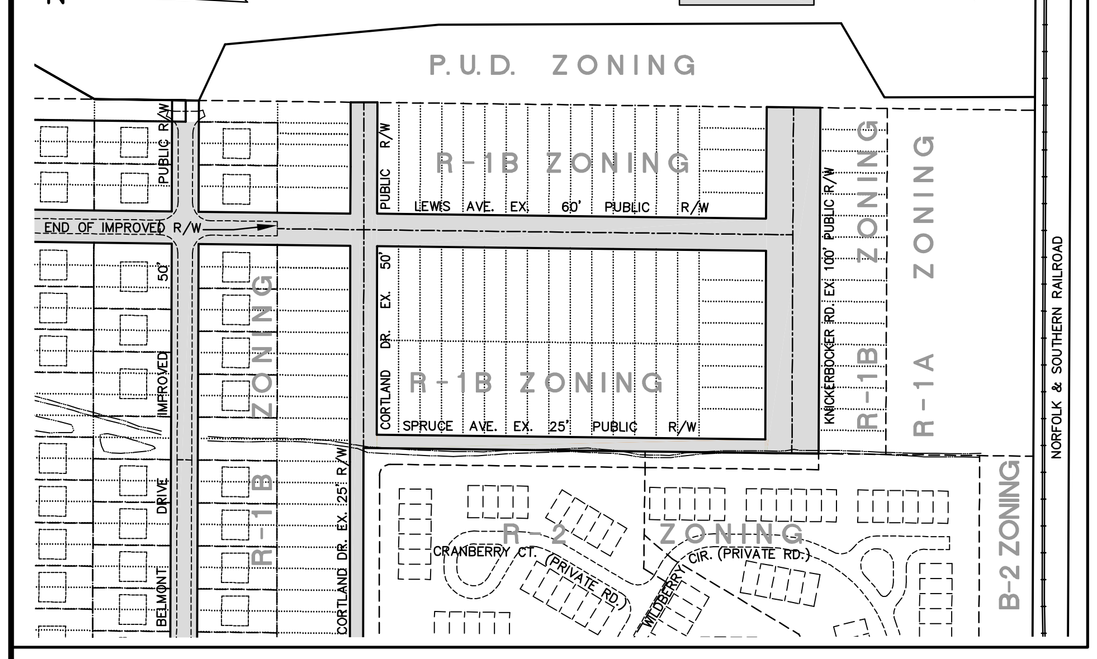
LEGEND:

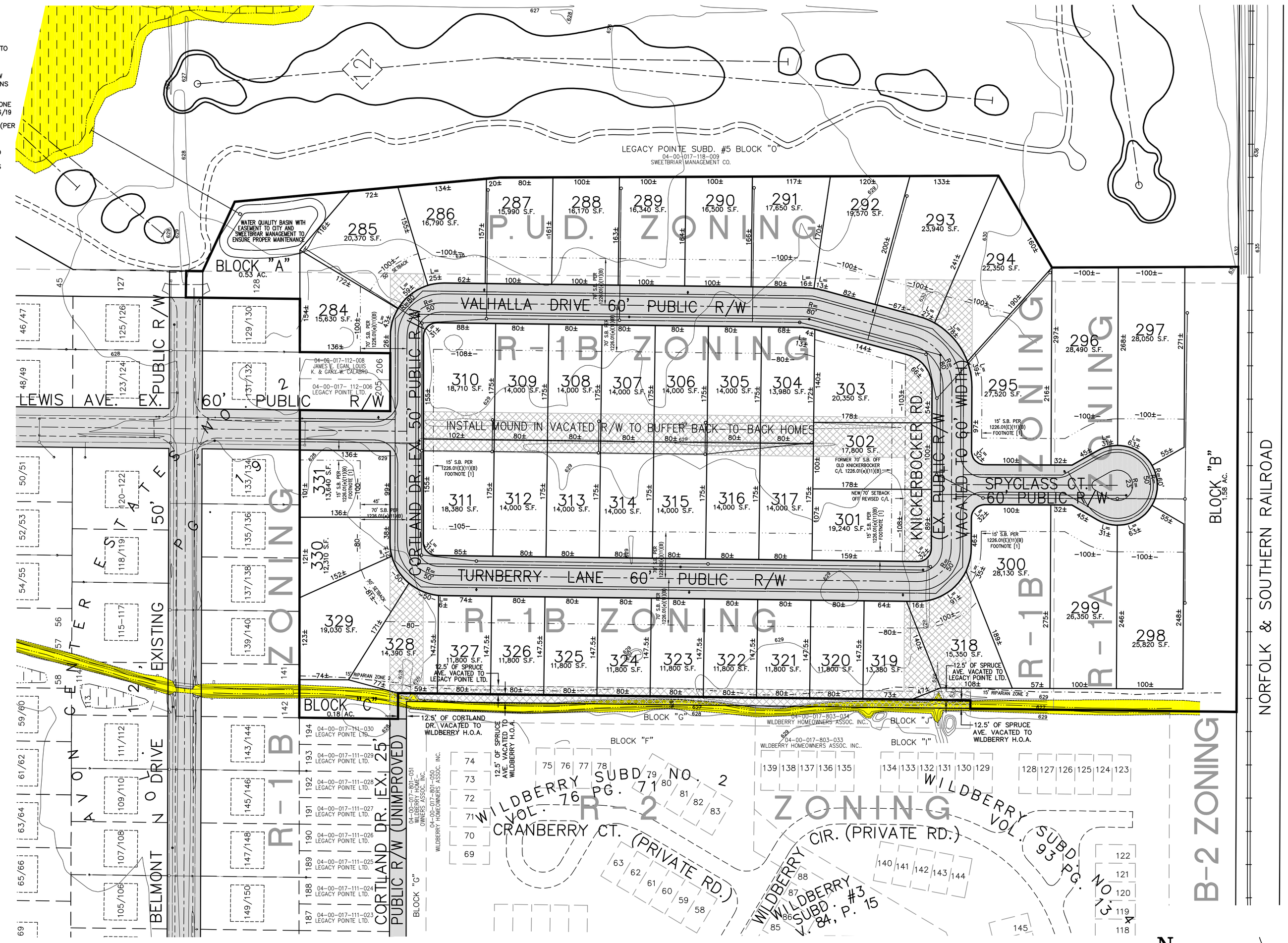
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- AREA OF EXISTING R/W TO BE VACATED
- AREA OF PROPOSED R/W AFTER EX. R/W VACATIONS
- 100 YEAR FEMA FLOODZONE PER L.O.M.R. EFFECTIVE 6/26/19
- DENOTES SETBACK LINE (PER NOTED CODE SECTIONS)
- –100'±– DENOTES LOT WIDTH OR FRONTAGE AS MEASURED ALONG A TANGENT LINE EXTENDED TO SIDE LINES

CURRENT PUBLIC R/W & LOT ARRANGEMENT

SCALE: 1" = 200'

AREA OF EXISTING DEDICATED PUBLIC R/W





PRELIMINARY COMPREHENSIVE STORM WATER MANAGEMENT PLAN:

IMPERVIOUS AREAS AFTER DEVELOPMENT:

48 HOMES & PATIOS:	168,000
48 DRIVES & APRONS:	67,200
STREET PAVEMENT:	78,650
SIDEWALKS:	21,740
RETENTION POND:	+ 6,530
TOTAL	=342,120 SQ. FT.
	=7.85 AC. / 24.7 AC. =32%

WATER QUALITY VOLUME REQUIRED:

RV = 0.05 + 0.9(FRACTION IMPERV., AFTER DEV.)
= 0.05 + 0.9(.32) = 0.338

WQV = (RV)(TOTAL AREA TRIB.)(0.90"/12)
= (0.338)(24.7 AC.)(0.90"/12)
= 0.626 AC.–FT. (X 43,560 = 27,275 CU. FT.)
/ BY POND AREA @ 6,500 S.F. = 4.2' POND RISE (FT.)

CRITICAL STORM CALCULATIONS NOT REQUIRED SINCE RETENTION PROVIDED FOR IN EXISTING GOLF COURSE LAKES ASSUMED FULL DEVELOPMENT OF THIS AREA (PER OVERALL P.U.D. JANUARY 19, 2006 STORM WATER MANAGMENT PLAN.)

ZONING INFORMATION

BUILDABLE AREA OF LOTS:	ZONE:	MIN. LOT AREA (S.F.):	MIN. LOT WIDTH:	MIN. LOT FRONTAGE:	MIN. REAR YARD S.B.
284, 294, 295 & 300–331	R–1B	10,000*	80'	50'	35'
PART OF 294 & 285–293	PUD/R–1A	15,000**	N/A	N/A	35'**
296–299	R–1A	15,000	100'	60' @ CURVES	35'

MINIMUM SIDE YARD SETBACK FOR ALL LOTS IN ALL ZONES IS 10'
MINIMUM FRONT YARD SETBACK ARE AS NOTED ON PLANS

* PER TABLE 1226–2
** PER FOOTNOTE (c) OF SCHEDULE 1252.04(f) OF PRE–2022 CODE

SETBACK CHANGE RESULTING FROM PARTIAL R/W VACATION:

FRONT YARD SETBACK AT LOTS 15, 30 & 31 TO BE 70' OFF NEW R/W CENTERLINE RATHER THAN 70' OFF EXISTING KNICKERBOCKER RD. R/W CENTERLINE

NOTES:

- TOPOGRAPHY AND BUILDING LOCATIONS TAKEN FROM 6/99 AERIAL TOPO BY ZWICK ASSOCIATES, (PHOTOGRAMMETRY BY AEROCON PHOTOGRAMMETRIC SERVICES, INC., 4/13/99)
- STREET PAVEMENT WIDTH TO BE 27'
- SIDEWALKS TO BE INSTALLED ON BOTH SIDES OF NEW RIGHTS–OF–WAY AND RIGHTS–OF–WAY NOT BEING VACATED
- LEGACY HOMEOWNER ASSOCIATION (HOA) TO OWN BLOCKS & MAINTAIN WATER QUALITY BASIN
- MAINTENANCE RESPONSIBILITY OF DITCH ALONG WEST BOUNDARY TO BE SHARED BY LEGACY HOA OR WILDBERRY HOA DEPENDING ON OWNERSHIP INTEREST IN UNDERLYING LAND.
- PROPERTY BOUNDARY INFORMATION COMPILED FROM SUBDIVISION RECORDS. NO BOUNDARY SURVEY HAS BEEN COMPLETED.

PARCELS IN RE–SUBDIVISION:

AVON CENTER EST. #2 LOTS:
128, 195–204, 206–83 & BLOCK "A"
& PARTS OF THE FOLLOWING EXISTING UNIMPROVED CITY R/W'S:
LEWIS AVE., CORTLAND DR., SPRUCE AVE. & KNICKERBOCKER RD.
& PART OF REMAINDER #2 FROM LEGACY POINTE SUBD. #5

DEVELOPMENT STATISTICS:

AREA INCL. EX. R/W:	24.71 AC.
NUMBER OF LOTS:	48
DENSITY (UNITS/AC.):	1.94

PHASING:

ALL 48 LOTS TO BE DEVELOPED IN ONE CONSTRUCTION PHASE

SANITARY DISTRICT: S–7

SANITARY SEWERS FOR THE ENTIRE PROJECT ARE ROUTED TO THE EXISTING 8" SANITARY SEWER IN LEWIS AVE.

STORM DISTRICT: HEIDER

RUNOFF FROM THE ENTIRE PROJECT IS ROUTED TO A NEW WATER QUALITY BASIN WHICH WILL DISCHARGE IN THE EXISTING GOLF COURSE LAKE SYSTEM (SEE PRELIMINARY COMPREHENSIVE STORM WATER MANAGEMENT PLAN AT LEFT.)

N
GRAPHIC SCALE: 1" = 80'
0 40 80 160

DEVELOPER:
LEGACY POINTE LTD.
420 AVON BELDEN RD.
AVON LAKE, OH 44012
(440) 933–6908

REVISIONS		
	3/3/2020	REVISED PER REVIEW CYCLE #1 COMMENTS FROM CITY DEPARTMENT HEADS
	4/16/2025	ADDITIONAL LAND ADDED INTO PROJECT LIMITS

AVON CENTER ESTATES #2 RE–SUBDIVISION
PRELIMINARY PLAN

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE
CLEVELAND, OHIO 44135
PHONE: (216) 251–3033

1/1

FEBRUARY 2020

801 Moore Road • Avon, Ohio 44011 • 440/934-7878 • Fax 440/934-7879

Equal Opportunity • Affirmative Action Employer

BRAMHALL
ENGINEERING &
SURVEYING COMPANY

May 28, 2025

Ted Esborn
Community Development Director
City of Avon Lake
150 Avon Belden Road
Avon Lake, Ohio 44012

Reference: Preliminary Plan
Avon Center Estates #2 Re-subdivision

Mr. Esborn:

On behalf of the City of Avon Lake we have reviewed the Preliminary Plan submitted for Avon Center Estates #2 Re-subdivision, as prepared by the Henry G. Reitz Engineering Company, and offer the following comments:

1. Per Codified Section 1238.12 (g)(2)(A) the minimum Right-of-Way radius for a Cul-de-Sac is 65'. Please double check the proposed radius at Spyglass Court.

2. Recommend that the Applicant install individual storm sewer laterals for each sublot rear yard drain in lieu of a shared lateral system.

3. A Vacation Plat will be required for the existing Platted Streets in the Development.

If you have any questions, please call.

Sincerely,

BRAMHALL ENGINEERING & SURVEYING CO.
City of Avon Lake Consulting Engineers

Christopher L. Howard, P.E., CPESC
City Engineer

ALRW Review - Jarod L.

Record No. **CPC-25-6**

Status Completed

Became Active April 24, 2025

Assignee Jarod Larson

Due Date May 4, 2025

Primary Location

0 CORTLAND DR
AVON LAKE, OH 44012

Owner

LEGACY POINTE LTD
420 AVON BELDEN RD Avon Lake, OH 44012

Applicant

James Sayler
216-251-3033
jts@reitzeng.com
4214 Rocky River Dr.
Cleveland, OH 44135

Messages

Jarod Larson April 24, 2025 at 2:29 pm

Engineering review of water & sanitary infrastructure will be required by ALRW. All lots will be subject to standard utility impact fees.

Zoning Review - Austin

Record No.**CPC-25-6**

Status Completed

Became Active April 24, 2025

Assignee Austin Page

Due Date May 4, 2025

Primary Location

0 CORTLAND DR
AVON LAKE, OH 44012

Owner

LEGACY POINTE LTD
420 AVON BELDEN RD Avon Lake, OH 44012

Applicant

James Sayler
216-251-3033
jts@reitzeng.com
4214 Rocky River Dr.
Cleveland, OH 44135

Messages

Austin Page

April 29, 2025 at 11:10 am

1. The applicant shall coordinate a date/time
with @Ted
Esborn & @Kelly
La Rosa to meet with the DRC. The project narrative stated that a similar version of the project was submitted to Planning in 2020, but new staff involved, etc. It makes sense to all meet and re-introduce this project, especially since additional land has been added into the proposal. May require a separate DRC application to be submitted. 2. The applicant shall coordinate the right-of-way vacations with City Engineer, Chris Howard. Vacation will need Planning Commission and City Council approval. 3. As this development (single-family) abuts
Wildberry (multi-family) screening shall be required by Table 1232-1 of the PZ
Code. A screening plan must be submitted and must be incorporated into a
landscaping plan. Screening shall only be required alongside the Wildberry development
to the west. a. Required areas for screening must be developed
along the perimeter of the lot and extend inward from the property line of the
development site. Screening may not be located within any dedicated public or
private street right-of-way, utility easement or encroach on adjacent property.b. An area used for screening may be included in
the calculation of setback requirements. 4. Screening may include a mix of trees, berms,
plantings, fences and walls to achieve a solid screen of a minimum of 75
percent of the length of the building, structure and/or activity requiring
screening on the more intensive property. a. Due to length of the requirement, please refer to 1232.05(b)(3). References berms, fences, etc. 5. Please depict the frontage on all corner lots as there is only one logical way for them to be positioned. If facing other ways, variances would be required as the rear setbacks would be an issue. a. 331 – Fronts Cortlandb. 311 – Fronts Turnberryc. 301 & 303 – Fronts Knickerbockerd. 310 – Fronts Valhallae. 295 & 300 – Fronts Spyglass 6. Thank you for capturing the lot width and
setback modifications referenced in the code for the R-1B district. No
issues. 7. Provide note stating the Spyglass Ct. cul-de-sac island is to be maintained by the HOA. 8. Are these homes to use existing mail CBU or is a new one proposed? If new, please depict on plan. 9. At all street intersections, the corner of the property line shall be rounded by a radius of not less than 15'. Please refer to lot 331 and the lot to north at the Lewis/Cortland intersection.

SANDRIDGE RUN SUBDIVISION – FINAL PLAT

Report

To: Planning Commission

From: Kelly La Rosa, Planning and Zoning Manager

Date: May 29, 2025

Re: Case No. CPC-25-7, Pulte Homes of Ohio, LLC, Major Subdivision, Final Plat Approval for Sandridge Run Subdivision located on the west side of Avon Belden Road on parcel number 04-00-017-101-066 and 04-00-017-101-090.

PROJECT OVERVIEW

Pulte Homes of Ohio LLC is requesting Final Plat approval for the Sandridge Run Subdivision, a 28-unit fee-simple townhouse development located on the west side of Avon Belden Road. The project sits on 4.4286 acres and was approved under the prior zoning code with equivalency provisions granted by the Planning Commission. The development has a residential density of 6.32 units per acre.

Figure1: Maps Data: Google Earth 6/2/2015.

PROJECT DESCRIPTION

Owner: Pulte Homes of Ohio, LLC, 387 Medina Road, Medina.

Engineer: Henry G. Reitz Engineering Co.

Location: The site is on the west side of Avon Belden Road (State Route 83), just south of Walker Road and north of Webber Road.

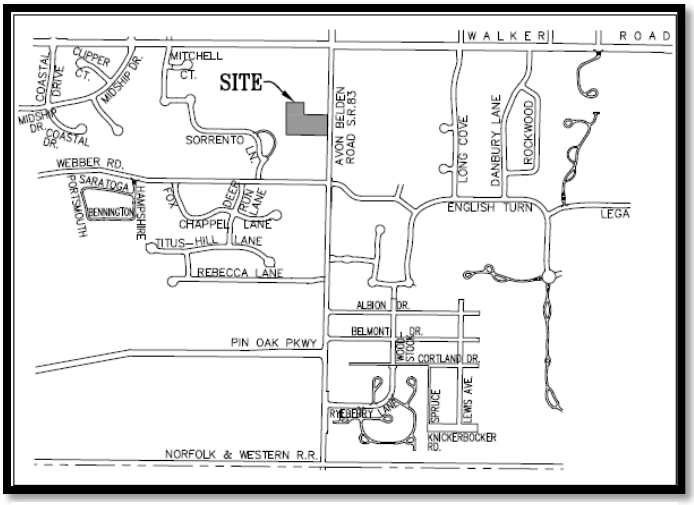


Figure 2: Vicinity Map

Approvals: The Preliminary Development Plan for Sandridge Run was previously approved under the former zoning code, with equivalency provisions granted by the Planning Commission allowing for increased density beyond five units per acre, a reduced rear setback against city property, a reduced setback for designated guest parking spaces, and a modification to building spacing requirements. Some of these provisions have since become compliant under updated code regulations.

Zoning: The project is zoned R-2 Multifamily Residential. The R-2 zoning district is established to provide areas in the city for attached housing options (such as townhouses and other multi-family formats). These options support a broader diversity of housing types and are intended to serve as transitional zones between lower-density single-family neighborhoods and higher-activity business areas. The regulations in the R-2 district aim to ensure that developments are designed in a manner that contributes positively to the community's overall aesthetic and long-term viability.

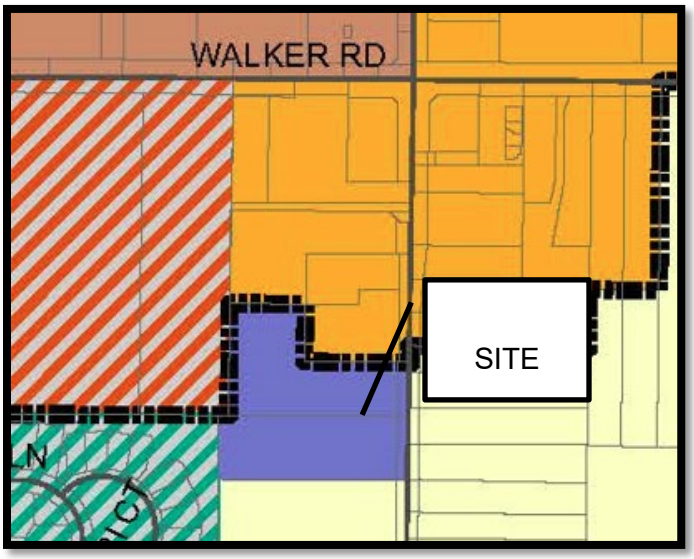


Figure 3: Excerpt from Avon Lake Zoning Map

Land Use: Although the Future Land Use Map of the Comprehensive Plan designates this area as Low-Density Residential for detached single-family homes, the R-2 zoning classification allows townhouses and attached dwellings. This project conforms with the zoning map and was reviewed under the city's adopted zoning regulations.

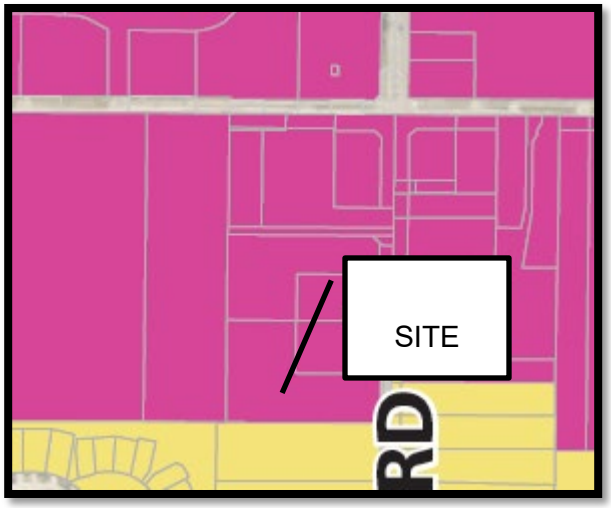


Figure 4: Excerpt from Comprehensive Plan

APPLICABLE CODE SECTIONS

Section 1214.05: Major Subdivision

This section governs the review of major subdivisions, ensuring consistency with zoning regulations, thoroughfare planning, infrastructure requirements, and integration with existing documents.

Section 1238: Subdivision Design Standards

This section defines Subdivision Design Standards, including lot layout, block length, right-of-way configuration, utilities, sidewalks, landscaping, and connectivity.

PROJECT ANALYSIS

The Sandridge Run Subdivision encompasses a total of 4.4286 acres, distributed across several distinct land use components. The development includes 1.152 acres dedicated to 28 individual fee-simple townhouse lots, 2.1087 acres set aside as common areas within Blocks A and B, and 1.1679 acres designated as a private street within Block C. The project provides fee-simple residential townhouse use and is consistent with the R-2 zoning classification.

Land ownership is split between individual unit lots and common areas deeded to the Homeowners' Association (HOA), specifically Blocks A, B, and C. The subdivision will be governed by the HOA, which bears full responsibility for the maintenance and inspection of stormwater management facilities. Compliance with Chapter 1060 of the Avon Lake Codified Ordinances is required, and a formal inspection and maintenance agreement must be executed between the developer and the City. This agreement is specifically referenced on the recorded plat.

The necessary easements are delineated on the final plat. These include the dedication of storm sewer and drainage easements to the City of Avon Lake, as well as blanket utility easements covering Blocks A through C. The plat also imposes specific restrictions that prohibit the placement of buildings, fences, and trees within any easement areas, ensuring unobstructed access for utility and infrastructure maintenance.

Once recorded with the Lorain County Recorder's office, the Final Plat will establish legal property boundaries and authorize the sale of the individual lots. It also formalizes the dedication of easements and defines the maintenance responsibilities of the HOA and public entities.

The final plat for Sandridge Run is consistent with the Avon Lake Planning & Zoning Code for the R-2 District and incorporates previously approved equivalency provisions for density and setbacks. It satisfies the applicable provisions of Section 1214.05 (Major Subdivisions) and Section 1238 (Subdivision Design Standards). Final verification of the minimum building floor area and sidewalk installation will be completed during the permitting and construction phases.

SUSTAINABILITY CONSIDERATIONS

Sustainability measures have been integrated throughout the development. The stormwater management system includes a retention basin designed for flood control and erosion prevention. Groundwater recharge is supported through infiltration features, while standard site stormwater controls manage sediment and construction debris. Long-term water quality is further protected by post-construction enhancements. The HOA will be responsible for maintaining these systems, and the City retains access via blanket easements in the event of HOA non-performance issues.

DEVELOPMENT REVIEW COMMITTEE FINDINGS

The Development Review Committee—comprised of representatives from Community Development, Engineering, Building, Public Works, Avon Lake Regional Water, Fire, and Police—has reviewed the proposed Final Plat and confirmed that it is consistent with the approved Preliminary Development Plan and complies with all applicable zoning and land use regulations. The As-Built plans were submitted today, and exterior pin certification is expected tomorrow. Final approval of the pin certification is required by the City Engineer, who will then determine the financial obligations associated with the subdivision, including performance bonds, maintenance guarantees, and applicable fees. All recording-related fees must be received and certified by the Finance Director before recording the Final Plat.

REVIEW CRITERIA AND COMMISSION ACTION

To approve a major subdivision, the Commission must determine that the Final Plat meets all applicable standards as outlined in Section 1214.05 of the Avon Lake Planning and Zoning Code. The following criteria shall be considered:

1) That the major subdivision complies with all applicable provisions of this code;
2) That the subdivision does not conflict with other regulations, plans, or policies of the City;
3) That it is designed to be harmonious with the existing immediate or surrounding area or in keeping with the intended character of such area;
4) That it follows the Master Thoroughfare Plan and minimizes traffic congestion in public streets;
5) That it will not adversely affect the delivery of governmental services;

6) That any comments from applicable review agencies been adequately considered and addressed by the applicant; and
7) That the final plat conforms to the approved preliminary plat, if submitted and approved.

Following its review, the Commission shall decide whether to return the Final Plat to the applicant for revisions or to forward a recommendation to the City Council for approval, approval with conditions, or denial. If recommending denial, the Commission must identify the review criteria that were not met and provide the reasoning behind that conclusion.

Potential Motion: The Planning Commission must make a motion in the affirmative. A minimum of four affirmative ("yes") votes are required to recommend approval to the City Council, or four negative ("no") votes are required to recommend denial. The sample motion provided below is for guidance only and does not imply a recommendation or predetermined outcome.

> I move to recommend approval of the Final Plat for Case No. CPC-25-7, Pulte Homes of Ohio LLC, Major Subdivision Final Plat for Sandridge Run to the City Council, contingent upon confirmation from the Finance Director that all financial requirements including performance bonds, maintenance guarantees, and applicable fees have been satisfied per the City's subdivision regulations. Additionally, I find that the Final Plat is in conformance with the Preliminary Development Plan and is in conformity with applicable zoning ordinances or other land use controls and that the subdivision will serve the public use and interest.
>
> _____
>
> _____

SUBSEQUENT ACTION

With approval from the Planning Commission—whether full or conditional—the Final Plat will proceed to City Council for their review and decision. Conditional approval may include outstanding requirements such as confirmation of exterior pin certification or financial certification by the Finance Director. If the Planning Commission denies the Final Plat, the applicant may not continue in the review process until the Planning Commission issues a recommendation for approval.

ATTACHMENTS

- Planning Commission Application
- DRC Comments

Zoning Review - Austin

Record No.**CPC-25-7**

Status Completed

Became Active May 2, 2025

Assignee Austin Page

Due Date May 12, 2025

Primary Location

544 AVON BELDEN RD
AVON LAKE, OH 44012

Owner

PULTE HOMES OF OHIO LLC
387 MEDINA RD Medina, OH 44256

Applicant

James Sayler
216-251-3033
reitz@reitzeng.com
4214 Rocky River Dr.
Cleveland, OH 44135

Messages

Austin Page

May 13, 2025 at 3:25 pm

1. Is a lot the footprint of the townhouse unit or does it include additional space for a patio, etc.? In other developments, there is a note stating that common elements including the land within "x" number of feet from the foundation, etc. and "x" number of feet off the main rear wall for a deck/patio. What exactly is the plan here? Want to avoid situations where each unit wants a patio and these structures off their property. Also concerns with specific units having a porch, etc. encroach into the setback. 2. Units 1 & 28 will have their sides along Avon Belden Road. Is the plan to enhance these sides to give an appearance of a front facade? 3. Please depict cbu locaiton.4. Please provide the most recent plan for landscaping and buffering.

CPC-25-7

Planning Commission Application

Status: Active

Submitted On: 5/1/2025

Primary Location

544 AVON BELDEN RD
AVON LAKE, OH 44012

Owner

PULTE HOMES OF OHIO LLC
387 MEDINA RD Medina, OH 44256

Applicant

James Sayler
216-251-3033
reitz@reitzeng.com
4214 Rocky River Dr.
Cleveland, OH 44135

Property or Parcel Information

Zoning Classification

R-2

Present Use*

Under Construction

Type of Request*

Major Subdivision - Final Plat

General Description of Project*

Requesting final plat approval now that construction is substatially complete for the 28 unit Sandridge Run townhouse project.

Have you had your meeting with the Development Review Committee?*

No

Your application will not be reviewed until you have met with the Development Review Committee (DRC). Please submit the DRC application before submitting this application.

Applicant Information

Applicant is the Property Owner or Property Owner's Designee.
Project Manager will be the person working closest with the plans and will be the main point of contact for the Planning Department's questions.

Applicant Role*

Subdivider

Applicant Name*

James Sayler

Address*

4214 Rocky River Dr.

City*

Cleveland

State*

OH

Zip*

44135

Phone*

216-251-3033

Email*

jts@reitzeng.com

Project Manager

James Sayler

Project Manager Phone

216-251-3033

Project Manager Email

jts@reitzeng.com

Property Owner Information

Name*

Pulte Homes of Ohio, LLC

Address*

387 Medina Road

City*

Medina

State*

OH

Zip*

44256

Phone*

330-849-3478

Signature

Applicant Signature*

James Sayler
May 1, 2025

The project is a 28-unit townhouse project which was approved under the previous zoning code with a density modification. A 7/7/23 memo from the Avon Lake Code Administrator acknowledged that sufficient work had been performed within one year to prevent the expiration of the approval. Because the project was designed to provide fee simple lots for each individual unit owner a subdivision plat will need to be recorded to transfer the lots to the future owners. All lots are proposed to be on private streets. All sanitary sewers water mains will be public utilities in a private street common block owned by the homeowner association with a blanket easement granted to the city for their maintenance and repair. The street pavements, storm sewers and storm water management system will be privately owned and maintained on common blocks owned by the homeowner association. A blanket drainage easement will cover all common blocks to allow the city to enter and perform any necessary maintenance if the association fails to do so. The subdivision improvements have been substantially completed and their approval by Avon Lake Regional Water and the City is pending.

The project has been designed in accordance with Avon Lake storm water management and storm water quality standards to promote ecosystem health through flood and erosion reduction provided by a storm water retention basin, ground water replenishment provided through enhanced infiltration practices, sediment control and waste management strategies provided by construction site storm water management controls and post-construction water quality enhancements provided by water quality features included in the design of the water quality basin.

SANDRIDGE RUN
R-2 DEVELOPMENT

UNITS 1 THRU 25

ZONED R-2 MULTIFAMILY WITH PRIVATE STREETS, PUBLIC WATER MAIN & PUBLIC SANITARY

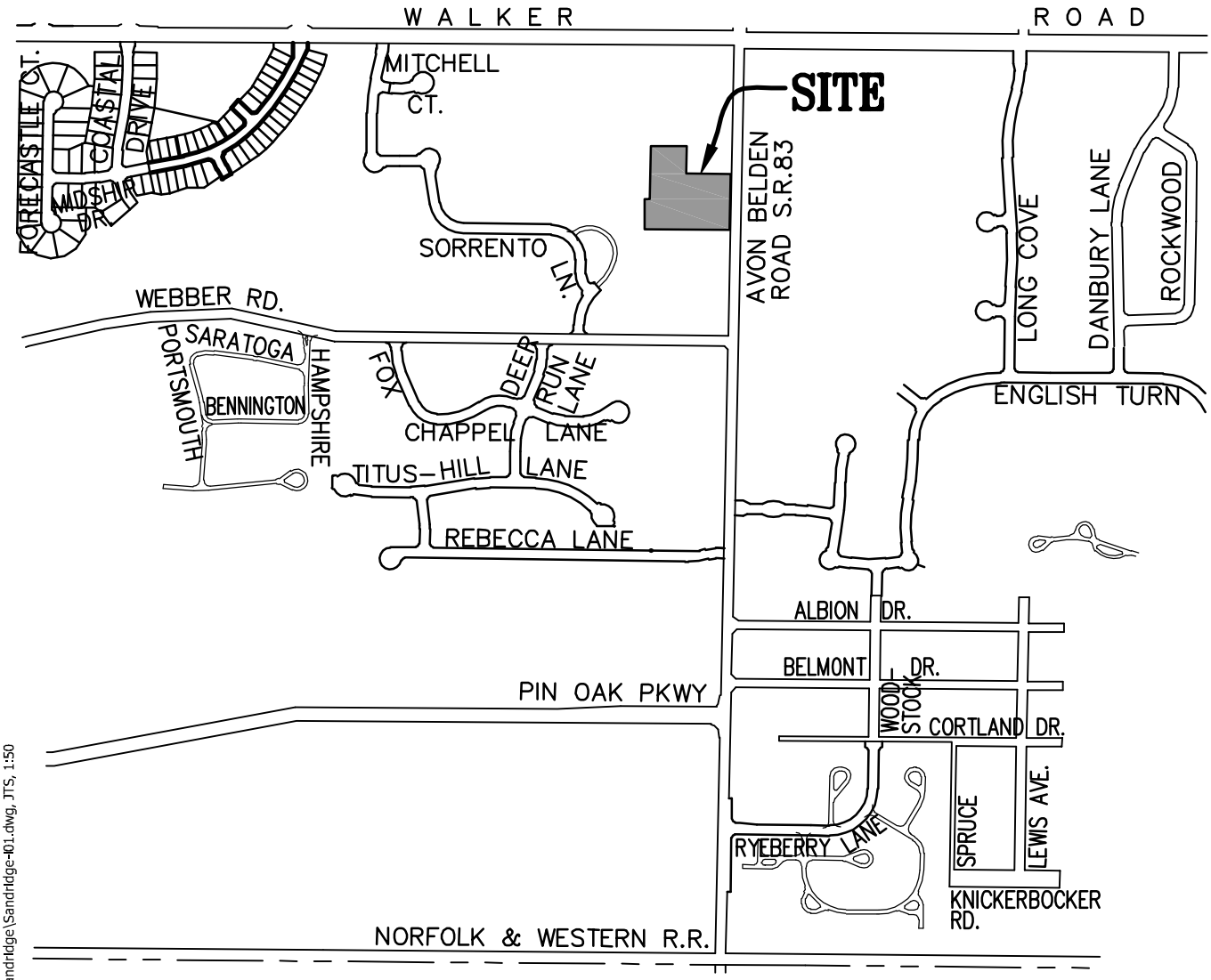
BEING PART OF

ORIGINAL AVON TOWNSHIP SECTION NO. 17

ALL OF PPN 04-00-017-101-066 & 090

CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF O

O.U.P.S.# A-131-602-038



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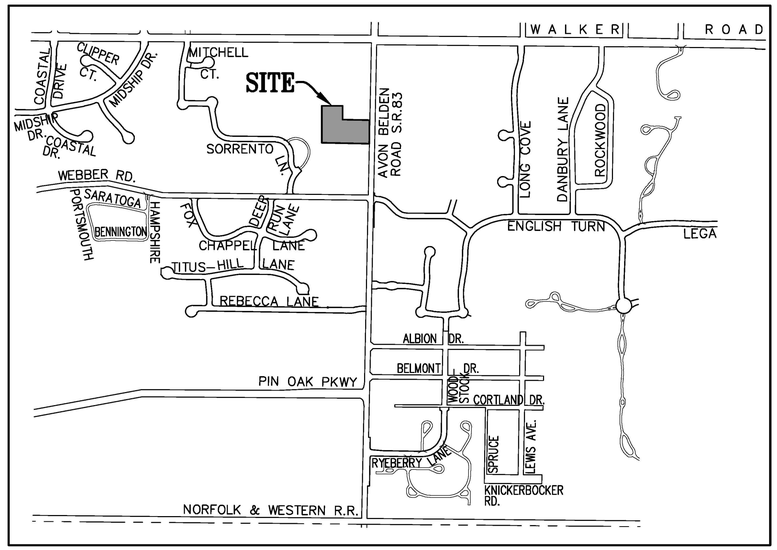
SANDRIDGE RUN SUBDIVISION

PLAT

BEING PART OF AVON TOWNSHIP SECTION NO. 17 NOW IN THE CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF OHIO

LOTS ARE SUBJECT TO A HOMEOWNERS' ASSOCIATION AND THE MAINTENANCE OF COMMON AREA BLOCKS ARE THE RESPONSIBILITY OF HOMEOWNERS' ASSOCIATIONS

THE HOMEOWNERS' ASSOCIATION SHALL ALSO BE REQUIRED TO MAINTAIN AND INSPECT THE RETENTION AND WATER QUALITY BASINS, AND PROVIDE REPORTS TO THE CITY OF AVON LAKE, AS SET FORTH IN THE INSPECTION AND MAINTENANCE AGREEMENT THAT IS REQUIRED TO BE ENTERED INTO BETWEEN THE DEVELOPER AND THE CITY OF AVON LAKE IN ACCORDANCE WITH THE PROVISIONS OF AVON LAKE MUNICIPAL CODE, CHAPTER 1060, SECTION 1060.08(D)(10) & SECTION 1060.13.



SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT AT THE REQUEST OF THE OWNERS, PULTE HOMES OF OHIO, LLC. I HAVE SURVEYED AND PLATTED THE SANDRIDGE RUN SUBDIVISION AS SHOWN HEREON AND CONTAINING 4.4286 ACRES IN AVON TOWNSHIP SECTION NO. 17, NOW IN THE CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF OHIO.

AT ALL POINTS INDICATED Ⓜ 5/8" ~ 30" LONG CAPPED (REITZ ENG.) IRON PIN MONUMENTS WERE SET.
AT ALL POINTS INDICATED ○ 5/8" ~ 30" LONG CAPPED (REITZ ENG.) IRON PINS WERE SET.

MEASUREMENTS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS SHOWN ARE BASED ON AVON BELDEN ROAD BEARING N00°56'30"E AND FOR THE PURPOSE OF DESCRIBING ANGLES ONLY. THE PLAN REPRESENTS A SURVEY IN WHICH THE TRAVERSE OF THE EXTERIOR BOUNDARIES OF THE TRACT AND OF EACH BLOCK WHEN COMPUTED FROM FIELD MEASUREMENTS OF THE GROUND CLOSED WITHIN A LIMIT OF ERROR OF ONE (1) FOOT TO TEN THOUSAND (10,000) FEET OF THE PERIMETER BEFORE BALANCING THE SURVEY. THE SURVEY MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS, IN SECTION 4733-37 OF THE OHIO ADMINISTRATIVE CODE AND ADJACENT PROPERTY DESCRIPTIONS HAVE BEEN CONSIDERED IN PERFORMING THIS SURVEY. ALL OF WHICH I CERTIFY TO BE CORRECT.

MAY 2025

ACREAGE IN 28 LOTS	1.1520 AC.
ACREAGE IN 2 COMMON BLOCKS	2.1087 AC.
ACREAGE IN 1 PRIVATE STREET BLOCK	1.1679 AC.
TOTAL	4.4286 AC.

THE HENRY G. REITZ ENGINEERING COMPANY

BY: _____ , PRES.
JAMES T. SAYLER, REGISTERED SURVEYOR NO. S-7425

OWNERS CERTIFICATE

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND SURVEY, DO HEREBY ASSENT TO AND ADOPT THIS SUBDIVISION OF THE SAME, ACKNOWLEDGE THAT THE SAME WAS AT OUR REQUEST AND AUTHORIZE ITS RECORDING.

PULTE HOMES OF OHIO, LLC
387 MEDINA ROAD
MEDINA, OHIO 44256

_____
BRAD PIROLI, VICE PRESIDENT

NOTARY PUBLIC

COUNTY OF)
STATE OF OHIO) SS
THIS IS TO CERTIFY THAT BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE DID PERSONALLY APPEAR PULTE HOMES OF OHIO, LLC., BY BRAD PIROLI, VICE PRESIDENT, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING PLAT OF SANDRIDGE RUN SUBDIVISION AND THAT THE SAME WAS THEIR FREE ACT AND DEED AND THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, _____.

_____
NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SANITARY SEWER, WATERLINE, STORM SEWER AND DRAINAGE EASEMENTS

SANITARY SEWER, WATERLINE, STORM SEWER AND DRAINAGE EASEMENTS AS SHOWN HEREON THIS PLAT ARE GRANTED BY THE UNDERSIGNED OWNER OF THE WITHIN PLATTED LAND WHO DOES HEREBY GRANT UNTO THE CITY OF AVON LAKE, (HEREINAFTER REFERRED TO AS THE "GRANTEE"), A PERMANENT RIGHT-OF-WAY AND EASEMENT OF SUCH WIDTHS AND LENGTHS AS DEFINED AND SHOWN ON THIS PLAT OVER AND THROUGH SUCH SUBLOTS AND BLOCKS AS SHOWN HEREON TO CLEAN, DEEPEN, WIDEN, IMPROVE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH IMPROVEMENTS ABOVE AND BELOW GROUND, TO MAINTAIN AND/OR IMPROVE SUCH FACILITIES AS DEEMED NECESSARY OR CONVENIENT BY THE GRANTEE FOR MAINTAINING PUBLIC SERVICES, DRAINAGE AND UTILITIES AS GRANTEE MAY DETERMINE UPON, WITHIN AND ACROSS THE EASEMENT PREMISES, SUBJECT TO THE TERMS INCLUDED HEREIN. NO STRUCTURES SHALL BE PLACED WITH SAID EASEMENTS. WITHIN SAID EASEMENT, NO FENCES, SIGNAGE, MOUNDING OR ROCKS GREATER THAN TWO FEET IN DIAMETER SHALL BE PLACED WITHIN FIVE FEET OF WATERLINES OR SANITARY SEWERS WITHOUT PRIOR APPROVAL OF THE GRANTEE. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT WITHOUT LIABILITY THEREFORE, TO REMOVE TREES AND LANDSCAPING INCLUDING LAWNS, WITHIN SAID EASEMENT PREMISES, WHICH MAY INTERFERE WITH THE INSTALLATION, MAINTENANCE, REPAIR OR OPERATION OF SUCH DRAINAGE, PUBLIC UTILITIES AND FACILITIES, THE RIGHT TO CLEAN, WIDEN, DEEPEN, REPAIR, AUGMENT AND MAINTAIN DRAINAGE AND PUBLIC SERVICES WITHIN THE ABOVE DESCRIBED EASEMENT PREMISES, WITH THE RIGHT OF ACCESS AND EGRESS TO ANY OF THE WITHIN SHOWN EASEMENTS FOR EXERCISING ANY OF THE PURPOSES OF THIS EASEMENT GRANT. THE GRANTEE SHALL NOT BE REQUIRED TO REPLACE OR REPAIR ANY CURBS, FENCES, SIDEWALKS, DRIVEWAYS, ROADWAYS, PARKING AREAS, SIGNAGE AND LANDSCAPING, INCLUDING ORNAMENTAL TREES, BUSHES AND SPECIAL PLANTINGS AND THAT THE SAME ARE CONSTRUCTED ON THE EASEMENT AREA AT THE GRANTOR'S RISK; THE GRANTEE'S ONLY OBLIGATION BEING TO RESTORE THE DENSITY OF SUBSURFACE MATERIAL AND TO REPAIR OR REPLACE ANY GRASS DAMAGED IN SUCH MAINTENANCE, REPAIR OR RECONSTRUCTION. REGULAR MAINTENANCE OF THE EASEMENT AREA LANDSCAPE IS THE RESPONSIBILITY OF THE LANDOWNER. THE GRANTEE RESERVES THE RIGHT TO ENTER AND PERFORM ANY NECESSARY LANDSCAPE MAINTENANCE IF THE LANDOWNER FAILS TO DO SO AND CHARGE THE LANDOWNER FOR SAID LANDSCAPE MAINTENANCE.

PULTE HOMES OF OHIO, LLC., BY BRAD PIROLI, VICE PRESIDENT

_____
BRAD PIROLI, VICE PRESIDENT

UTILITY EASEMENTS

WE, THE UNDERSIGNED OWNERS OF THE WITHIN PLATTED LAND DO HEREBY GRANT UNTO THE ILLUMINATING COMPANY, COLUMBIA GAS OF OHIO, BRIGHTSPEED, AND CATV FACILITIES, THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS THE "GRANTEES"), IN THE WIDTHS AS SHOWN HEREON, A PERMANENT RIGHT OF WAY EASEMENT ON OVER, UNDER AND THROUGH ALL SUBLOTS AND ALL LANDS AS SHOWN HEREON IN ADDITION TO A BLANKET EASEMENT OVER BLOCK "A" TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC LINES, GAS MAINS AND COMMUNICATIONS CABLES, DUCTS, CONDUITS, SURFACE OR BELOW GROUND, MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE NECESSARY AND CONVENIENT FOR THE GRANTEES TO DISTRIBUTE AND TRANSMIT ELECTRICITY, GAS AND COMMUNICATIONS SIGNALS FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS GRANTEES MAY DETERMINE UPON, WITHIN AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT SHALL INCLUDE THE RIGHT TO INSTALL, MAINTAIN, REPAIR AND AUGMENT ELECTRIC, GAS AND COMMUNICATION FACILITIES OUTSIDE THE ABOVE DESCRIBED PREMISES AND SHALL ALSO INCLUDE THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR THE PURPOSE OF EXERCISING ANY OF THE EASEMENTS RIGHTS INDICATED HEREIN. GRANTEES SHALL AT THEIR EXPENSE RESTORE THE LAND TO ITS CONDITION AS IT EXISTED IMMEDIATELY PRIOR TO THE WORK PERFORMED BY GRANTEES, EXCEPT GRANTEES SHALL NOT BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY PERMANENT STRUCTURES, TREES OR SHRUBS WHICH ARE LOCATED WITHIN THE EASEMENT BOUNDARIES AND ARE DAMAGED OR REMOVED AS A RESULT OF WORK PERFORMED AS PROVIDED FOR HEREIN BY GRANTEES. THE SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

PULTE HOMES OF OHIO, LLC., BY BRAD PIROLI, VICE PRESIDENT

_____
BRAD PIROLI, VICE PRESIDENT

ENGINEER'S CERTIFICATE

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS PLAT OF THE SANDRIDGE RUN SUBDIVISION AND FIND THE SAME TO BE PREPARED IN ACCORDANCE WITH THE CODIFIED ORDINANCES OF THE CITY OF AVON LAKE.

_____
AVON LAKE CITY ENGINEER,
CHRISTOPHER L. HOWARD, P.E.

CITY COUNCIL

THIS IS TO CERTIFY THAT THIS PLAT OF THE SANDRIDGE RUN SUBDIVISION HAS BEEN ACCEPTED BY THE COUNCIL OF THE CITY OF AVON LAKE, LORAIN COUNTY, OHIO BY ORDINANCE NO. _____PASSED THE ___ DAY OF _____, 20___.

_____
MAYOR,
MARK A. SPAETZEL

_____
CLERK OF COUNCIL,
VALERIE E. ROSMARIN

LAW DIRECTOR

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS PLAT OF THE SANDRIDGE RUN SUBDIVISION AND FIND THE SAME TO BE PREPARED IN ACCORDANCE WITH THE CODIFIED ORDINANCES OF THE CITY OF AVON LAKE.

_____
AVON LAKE LAW DIRECTOR,
GARY A. EBERT

LORAIN COUNTY AUDITOR

LORAIN COUNTY RECORDER

REVISIONS

SANDRIDGE RUN SUBDIVISION PLAT

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

MAY 2025

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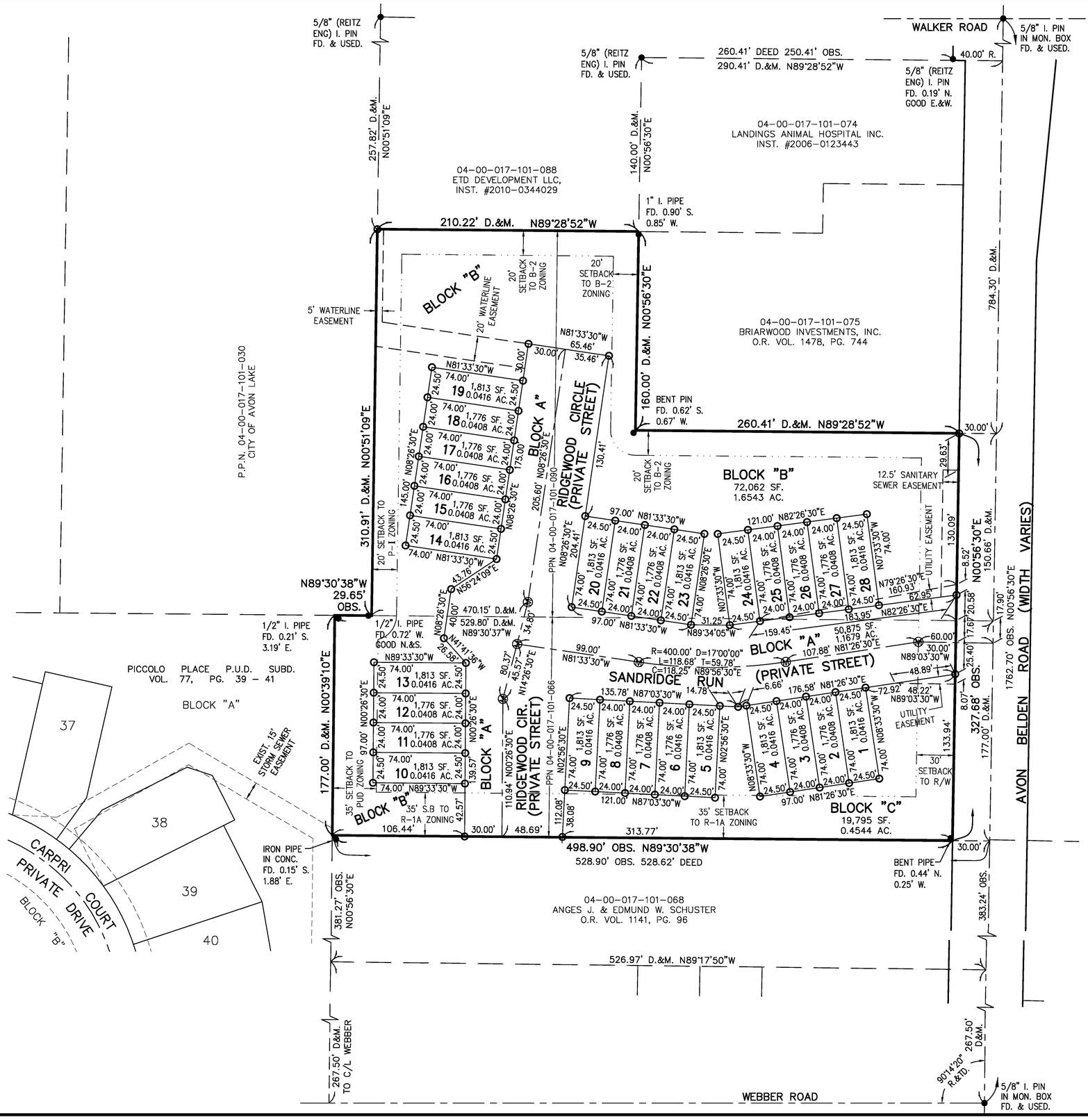


LEGEND

- ● DENOTES 5/8" CAPPED (REITZ ENG) IRON PIN FOUND UNLESS OTHERWISE NOTED.
- ○ DENOTES 5/8" ~ 30" LONG CAPPED (REITZ ENG.) IRON PIN SET
- Ⓜ DENOTES 5/8" CAPPED ~ 30" LONG (REITZ ENG.) IRON PIN SET IN MONUMENT BOX

BLANKET EASEMENTS

BLOCK "A" IS COVERED BY A BLANKET SANITARY SEWER AND WATERLINE EASEMENT GRANTED TO THE CITY OF AVON LAKE AND A BLANKET UTILITY EASEMENT GRANTED TO PRIVATE UTILITY COMPANIES AS DESCRIBED ON SHEET 1

BLOCK "A", BLOCK "B" AND BLOCK "C" ARE EACH COVERED BY BLANKET STORM SEWER AND DRAINAGE EASEMENT GRANTED TO THE CITY OF AVON LAKE WITH THE BLOCK OWNER HAVING PRIMARY MAINTENANCE RESPONSIBILITY OF THE PAVEMENT, LANDSCAPING AND STORMWATER MANAGEMENT IMPROVEMENTS.

REVISIONS

SANDRIDGE SUBDIVISION PLAT

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

2/2

MAY 2025

IMPROVEMENT PLANS
SANDRIDGE RUN
R-2 DEVELOPMENT

UNITS 1 THRU 28

ZONED R-2 MULTIFAMILY: STREETS & STORM SEWERS ARE PRIVATE, WATER & SANITARY MAINS ARE PUBLIC

BEING PART OF

ORIGINAL AVON TOWNSHIP SECTION NO. 17

ALL OF PPN 04-00-017-101-066 & 090

CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF OHIO

O.U.P.S.# A-131-602-038

MAINTENANCE OF TRAFFIC DETAIL

REFERENCE: FHWA 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (REV. MAY 2012)

LANE CLOSURE ON TWO-LANE ROAD

OPTION:

1. FOR LOW-VOLUME SITUATIONS WITH SHORT WORK ZONES ON STRAIGHT ROADWAYS WHERE THE LAW ENFORCEMENT OFFICER (L.E.O.) IS VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS, A SINGLE L.E.O., POSITIONED TO BE VISIBLE TO ROAD USERS APPROACHING FROM BOTH DIRECTIONS, SHALL BE USED, IF THE LANE CLOSURE WILL NEED TO BE EXTEND TO OVERNIGHT, THE CONTRACTOR SHALL SUPPLY DETAILS OF THE LENGTH AND AMOUNT OF CLOSURE AND SUBMIT A PLAN TO THE ENGINEERING DEPARTMENT FOR THEIR REVIEW AND CO-ORDINATION WITH THE POLICE DEPARTMENT.

2. ROAD WORK AHEAD AND THE END ROAD WORK SIGNS MAY BE OMITTED FOR SHORT-DURATION OPERATIONS.

3. FLASHING WARNING LIGHTS AND/OR FLAGS SHALL BE USED TO CALL ATTENTION TO THE ADVANCE WARNING SIGNS.

GUIDANCE:

4. IF THE TWO-WAY TRAFFIC TAPER IS PLACED BEFORE A HORIZONTAL (OR CREST VERTICAL) CURVE, THE BUFFER SPACE SHALL BE EXTENDED TO PROVIDE ADEQUATE SIGHT DISTANCE FOR THE L.E.O. AND A QUEUE OF STOPPED VEHICLES.

STANDARD:

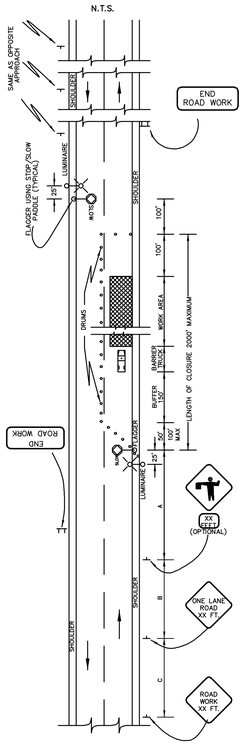
5. AT NIGHT, L.E.O. STATIONS SHALL BE ILLUMINATED, EXCEPT IN EMERGENCIES.

GENERAL NOTES

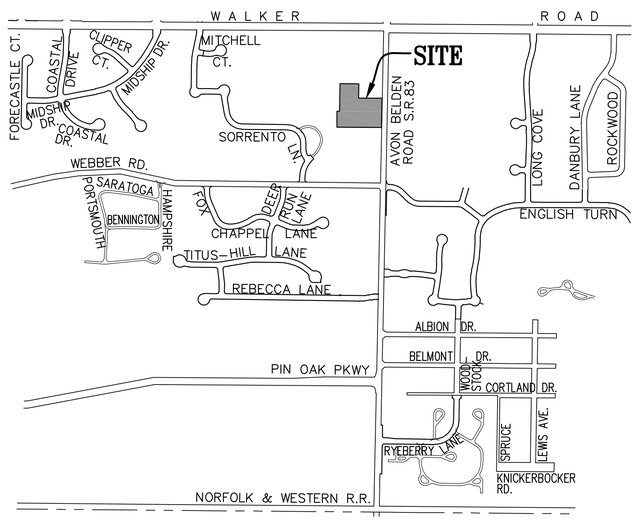
1. THE LOCATION OF THE ADVANCE WARNING SIGNS SHALL BE ADJUSTED TO PROVIDE FOR ADEQUATE SIGHT DISTANCE FOR THE EXISTING VERTICAL AND HORIZONTAL ROADWAY ALIGNMENT. THE DISTANCES SHOWN ARE MINIMUMS. DISTANCE B MAY ALSO BE INCREASED, PRIOR TO IMPLEMENTATION OF THE CLOSURE OR AFTER IT IS IN EFFECT, AS DIRECTED BY THE CITY OF AVON LAKE AND/OR A.L.R.W., FOR SUCH OCCURRENCES AS LONG TRAFFIC BACKUPS.

2. AVON LAKE ORDINANCE NO. 171-89, TRAFFIC CONTROL WITH OFF-DUTY LAW ENFORCEMENT OFFICERS WITH MARKED POLICE CRUISER, SHALL BE FOLLOWED.

3. AVON-BELDEN ROAD IS CONSIDERED A HIGH-VOLUME SITUATION WHERE TWO L.E.O.(S) WILL BE REQUIRED AT ALL TIMES. SECTION NO. 3 OF ORDINANCE NO. 171-89 SHALL BE FOLLOWED.



MINIMUM DISTANCE	A	B	C
URBAN (LOW SPEED)	100	100	100
URBAN (HIGH SPEED)	350	350	350
RURAL	500	500	500



UTILITIES

THE FOLLOWING IS BELIEVED TO BE THE LIST OF UTILITY COMPANIES PROVIDING SERVICE TO PROJECT AREA

CITY OF AVON LAKE
STORMWATER
150 AVON BELDEN RD.
AVON LAKE, OHIO 44012

AVON LAKE REGIONAL WATER
SAN. SEWERS & WATER MAINS
201 MILLER ROAD
AVON LAKE, OHIO 44012

FIRST ENERGY
6896 MILLER ROAD
BRECKSVILLE, OHIO 44141

COLUMBIA GAS CO
7080 FRY RD.
MIDDLEBURG HTS, OH 44130

BRIGHTSPEED
F.K.A. CENTURYLINK
1730 W. 19TH. ST.
LORAIN, OHIO 44052

SPECTRUM
F.K.A. CHARTER COMM.
576 TERNES AVE.
ELYRIA, OHIO 44035

BREEZELINE
F.K.A. WIDE OPEN WEST
105 BLAZE IND. PKWY
BEREA, OHIO 44017

TEMPORARY OFFICE/MODEL HOME:

BUILDER ANTICPATES REQUESTING PERMISSION TO BUILD THE FIRST BUILDING ON THE SOUTH SIDE OF THE ENTRY (UNITS 1-4) WITH A SALES OFFICE AND MODEL HOME PRIOR TO FINAL PLAT APPROVAL AS ALLOWED AS A TEMPORARY USE IN CODE CHAPTER 1224(C)(5) BASED ON THE FACT THAT NO DEDICATION OF PUBLIC RIGHT-OF-WAY IS REQUIRED FOR THIS PROJECT.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF AVON LAKE STANDARDS AND AVON LAKE REGIONAL WATER (ALRW) ANY REFERENCE TO AN ODOT STANDARD AS SPECIFICALLY SHOWN HEREON REFERS TO THE LATEST EDITION OF "STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS", INCLUDING CHANGES AND SUPPLEMENTAL SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND ELEVATIONS AS NOTED ON THE DRAWINGS. STAKING SHALL INCLUDE, BUT NOT BE LIMITED TO, CENTERLINE OF PAVEMENT, MONUMENT BOXES, STORM MANHOLES, STORM TEES, SANITARY MANHOLES, SANITARY WYES, WATER MAINS, WATER CORPORATIONS, HYDRANTS, ALL VALVES, ALL LONG SIDE LATERALS AT THE RIGHT-OF-WAY LINE, ALL LATERALS IN CURVED STREET AREAS AT THE RIGHT-OF-WAY LINES AND ALL LATERALS IN THE CUL-DE-SAC AREA. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY INCONSISTENCIES BETWEEN THE DRAWINGS AND THE FIELD MEASUREMENTS.
3. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT O.U.P.S. TO DETERMINE THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES NOT INDICATED ON THE PRINTS. IF UNCHARTED UTILITIES ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY.
4. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN AND STORM WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
5. THE STORM SEWER 6" HOUSE CONNECTIONS SHALL BE P.V.C. ASTM D-3034, SDR-35 WITH D-3212 JOINTS. (SAME FOR 6" REAR YARD INLET LATERALS.)
6. SANITARY SEWERS & SANITARY SEWER HOUSE CONNECTIONS SHALL BE P.V.C. PER ASTM D-3034, SDR-35 WITH D-3212 JOINTS. MIN. DIA. FOR THE PIPE SHALL BE 6". HYDROSTATIC TESTING TO MEET AVON LAKE REGIONAL WATER STANDARDS & MEET OR EXCEED ASTM C-969.
7. ALL SANITARY SEWER PIPE SHALL BE GIVEN A LOW PRESSURE AIR TEST AS SOON AS POSSIBLE AFTER COMPLETION ACCORDING TO THE PROCEDURES OF ASTM F1417-92. THE TEST SHALL CONSIST OF THE PIPING HOLDING A 3.5 PSIG. AIR PRESSURE FOR A PERIOD OF FIVE (5) MINUTES. AFTER THE AIR TEST IS COMPLETED, AN EXFILTRATION TEST SHALL BE PERFORMED. THE MAXIMUM DISTANCE FOR EXFILTRATION TESTING SHALL BE 900 FEET. THE SEWERS AND MANHOLES SHALL BE FILLED WITH WATER TO A MINIMUM OF TWO (2) FEET BELOW THE TOP OF THE UPSTREAM MANHOLE. THE SANITARY SEWER AND ALL MANHOLES SHALL SOAK FOR A PERIOD OF 8 HOURS MINIMUM AND THE WATER LEVEL SHALL REMAIN AT A CONSTANT HEIGHT. ANY OBSERVED FLUCTUATIONS (UP/DOWN) DUE TO AIR POCKETS SHALL VOID THE TEST TIME AND THE TEST SHALL BE RESTARTED. THE EXFILTRATION WILL BE MEASURED BY DETERMINING THE AMOUNT OF WATER REQUIRED TO MAINTAIN THE INITIAL WATER ELEVATION FOR FOUR (4) HOURS FROM THE START OF THE TEST. THE MAXIMUM ALLOWABLE LEAKAGE OUTWARD (EXFILTRATION) FOR ANY SANITARY SEWER SECTION TESTED IS 100 GALLONS PER INCH OF DIAMETER PER MILE OF PIPE PER 24 HOURS. AN ESTIMATE OF GROUND WATER ELEVATION IN THE SEWER TRENCH IS TO BE DETERMINED AND THE AIR TEST ADJUSTED ACCORDINGLY. SANITARY SEWER AND MANHOLES SHALL BE CLEANED PRIOR TO MANDREL TEST AND FLUSHED WITH A SEWER JET PRIOR TO BEING TELEVISED. THE CAMERA SHALL BE OF THE PAN-N-TILT TYPE AND TELEVISING SHALL INCLUDE VIEWING UP ALL HOUSE LATERALS WITH AUDIO NARRATIVE CALLING OUT ALL STOPPED LOCATIONS OR DEFECTS OBSERVED. THE REQUIRED MANDREL SIZE FOR 8" SANITARY SEWER DEFLECTION TESTING SHALL BE 7.28". IT HAS ALWAYS BEEN THE CITY'S INTENT TO ALLOW A MAXIMUM OF 5% DEFLECTION IN NEW SANITARY SEWER AND ACCORDING TO A.S.T.M. STANDARDS FOR 8" P.V.C. (3034 SDR-35) PIPE, THAT WOULD REQUIRE THE 7.28" MANDREL. ALRW HAS A MANDREL IN THAT SIZE AND IT SHALL BE USED IN ALL TESTING. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.
8. ALL FLEXIBLE (P.V.C.) SANITARY SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS AFTER FINAL FULL BACKFILL HAS BEEN PLACED AND ALL PAVEMENT INSTALLED. THE DEFLECTION TEST SHALL BE RUN BY THE USE OF A MANDREL SUPPLIED BY ALRW PER "RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES" SECTION 33.85(c).
9. NO BUILDINGS OR TREES TO BE INSTALLED IN EASEMENTS. CITY TO BE HELD FREE FROM REPAIR OF ANYTHING PLACED IN THE EASEMENT, EXCEPT GRASS.
10. ALL HOUSE CONNECTION TRENCHES TO HAVE A 4 FOOT COMPACTED CLAY DAM EXTENDED TO THE FULL DEPTH AND WIDTH OF THE TRENCH AND PLACED AS SHOWN ON TYPICAL PAVEMENT SECTION.
11. ELECTRIC CROSS-OVER CONDUITS SHALL BE 60 FEET MINIMUM LENGTH.
12. NO GAS COMPANY, ELECTRIC COMPANY OR TELEPHONE COMPANY TRENCHING SHALL BE DONE WITHOUT CITY INSPECTORS PRESENT. MINIMUM 2.5' OUT-TO-OUT CLEARANCE TO WATER MAINS TO BE PROVIDED.
13. THE PLANS FOR THE LOCATION OF GAS, ELECTRIC AND CABLE PRIVATE UTILITY INSTALLATIONS SHALL BE SUBMITTED TO CITY OF AVON LAKE PUBLIC WORKS DEPARTMENT (ALPW) AND ALRW FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. CONTACT ALRW AND/OR ALPW TO SCHEDULE ON-SITE INSPECTION WHEN ANY PRIVATE UTILITIES ARE INSTALLED WITHIN FIVE (5) FEET OF THE PUBLIC UTILITIES.
14. A MINIMUM OF 35 PSIG. WATER SERVICE PRESSURE SHALL BE MAINTAINED TO THE CURB STOP DURING NORMAL OPERATING CONDITIONS.
15. BOOSTER PUMPS ARE NOT PERMITTED ON WATER SERVICE CONNECTIONS BY ALRW.
16. FULL SET OF AS BUILT PLANS IN PDF AND AUTOCAD FORMAT FILES SHALL BE REQUIRED FOR ALL SUBDIVISION IMPROVEMENTS.
17. ANY WATER SERVICE CURB STOPS, METER VAULTS, SAN. SEWER CLEANOUTS OR FIRE HYDRANTS FOUND TO BE IN CONFLICT WITH A PROPOSED DRIVEWAY OR SIDEWALK LOCATION WILL BE REMOVED AND REINSTALLED. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELOCATION COSTS.
18. A MINIMUM 10 FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE STORM SEWER SHALL BE MAINTAINED.
19. A MINIMUM 10 FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE SANITARY SEWER SHALL BE MAINTAINED.
20. A MINIMUM 18" VERTICAL CLEARANCE (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE STORM SEWER SHALL BE MAINTAINED.
21. A MINIMUM 18" VERTICAL CLEARANCE (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE SANITARY SEWER SHALL BE MAINTAINED.
22. WATER MAINS AND SANITARY SEWER LINES OR FORCE MAINS SHALL BE SEPARATED BY MINIMUM CLEAR VERTICAL DISTANCE OF 18" AND HORIZONTAL DISTANCE OF 10'-0". WHEN THE ABOVE CAN NOT BE MAINTAINED, SEWER LINE SHALL BE CONCRETE ENCASED OR ENCLOSED WITHIN CLASS 52 D.I.P. FOR A DISTANCE OF 10'-0" EACH WAY FROM WATER LINE IF APPROVED BY ALRW.
23. R.C.P. STORM SEWER MAINLINE PIPE SHALL MEET ODOT CMS 706.02 WITH MIN. 1' COVER:
    12" & 15" R.C.P. STORM SEWER SHALL BE ASTM C-76 MINIMUM CLASS IV
    18", 21" & 24" R.C.P. STORM SEWER SHALL BE ASTM C-76 MINIMUM CLASS III
    27" & LARGER R.C.P. STORM SEWER SHALL BE ASTM C-76 MINIMUM, CLASS I
24. H.D.P.E. STORM SEWER MAINLINE PIPE SHALL MEET ODOT CMS 707.33 WITH MINIMUM 1' COVER. DEFLECTION TESTING SHALL BE PERFORMED ON ALL FLEXIBLE PIPE USED FOR THE MAINLINE SEWER. TESTING SHALL BE PERFORMED WITH A MANDREL OR OTHER MEANS ACCEPTABLE TO THE ENGINEER. THE MANDREL SHALL BE SIZED FOR 95% OF THE AVERAGE INSIDE DIAMETER OF THE CONDUIT. DEFLECTION TESTING SHALL TAKE PLACE NO SOONER THAN 30 DAYS AFTER INSTALLATION OF THE CONDUIT. ALL SECTION(S) WHICH FAIL SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CITY.
25. TELEVISING OF THE MAINLINE STORM SEWER SHALL BE DONE PRIOR TO PAVEMENT RESTORATION. THE SEWER SHALL BY HYDRAULICALLY CLEANED AND INLET BASINS CLEANED AS NECESSARY TO REMOVE ALL DEBRIS. THE SEWER SHALL BE TELEVISED USING A COLOR CAMERA WITH AN ON-SCREEN ELECTRONIC FOOTAGE COUNTER. THE CONTRACTOR SHALL PROVIDE A VIDEO FILE VIA HYPERLINK OR FLASH DRIVE, ALONG WITH A WRITTEN REPORT TO THE ENGINEER FOR REVIEW.
26. IF ANY PART OF THE STORM SEWER FAILS TO PASS THE ABOVE TESTING PROCEDURES, THE CONTRACTOR SHALL REPAIR OR REPLACE ALL DEFECTIVE MATERIALS &/OR WORKMANSHIP AND THEN RE-TEST THE INSTALLATION FOR COMPLIANCE WITH THESE TESTING PROCEDURES AT HIS OWN COST.
27. WATER CURB STOPS, METER VAULTS AND/OR SANITARY CLEANOUTS SHALL NOT BE PLACED IN SIDEWALK, DRIVEWAY OR STREET PAVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OUTSIDE OF PAVEMENT LIMITS.

CITY OF AVON LAKE, AVON LAKE REGIONAL WATER, ANSI/AWWA, TEN STATE STANDARDS AND OHIO EPA DESIGN STANDARDS SHALL GOVERN OVER OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS WHEN IN CONFLICT.

BENCHMARK DATUM: NAVD88

AVON LAKE REGIONAL WATER APPROVAL

THIS IS TO CERTIFY THAT THE POTABLE WATER AND SANITARY SEWER IMPROVEMENT PLANS FOR INFRASTRUCTURE HEREIN ARE HEREBY APPROVED BY: AVON LAKE REGIONAL WATER ENGINEERING SERVICES MANAGER
JACK R.G. GAYDAR, P.S., P.E., M.ASCE, CESSWI, CPESC, CPO

_____ _____
DATE

Distribution System Improvements (Potable Water)
Self Certification to Ohio EPA
PWSID: AT0031

These plans are approved for construction based upon the contract agreement between Avon Lake Regional Water and the Director of the Ohio EPA dated 03/22/16. And I hereby certify that the plans meet the requirements set forth in the Ohio Revised Code chapter 6109.07, Construction, Installation or Change of Public Water System and the Ohio Administrative Code Chapter 3745-91, Plans Approval. And are in conformance with the General Plan submitted as agreed to in said contract.

Date: _____.

Jack R. Gaydar, P.S., P.E., Engineering Services Manager
Ohio Registered Professional Engineer (E-52770)

STATE OF OHIO — JACK RICHARD GAYDAR — E-52770 — REGISTERED PROFESSIONAL ENGINEER

☐ APPROVED

SANITARY SEWER EXTENSIONS (Sewage Systems)
Self Certification to Ohio EPA
State of Ohio Permit No: 04001398
State NPDES Permit No: 3PD00003*KD

These plans are approved based upon the contract agreement between Avon Lake Regional Water and the Director of the Ohio EPA dated 03/22/16. And I hereby certify that the plans meet the requirements set forth in the Ohio Revised Code chapter 6111.14, Construction, Installation or Change of Public Water System and the Ohio Administrative Code Chapter 3745-42, Plans Approval. And are in conformance with the General Plan submitted as agreed to in said contract. CONSTRUCTION CANNOT BEGIN UNTIL A PTI IS ISSUED BY THE Director of the Ohio EPA.

Date: _____.

Jack R. Gaydar, P.S., P.E., Engineering Services Manager
Ohio Registered Professional Engineer (E-52770)

STATE OF OHIO — JACK RICHARD GAYDAR — E-52770 — REGISTERED PROFESSIONAL ENGINEER

☐ APPROVED

WATER P.T.I._____

SANITARY P.T.I._____

CITY APPROVALS:
THIS IS TO CERTIFY THAT THE PLANS HEREIN ARE HEREBY APPROVED BY: CITY ENGINEER, CHRISTOPHER L. HOWARD, P.E.

AS-BUILT CERTIFICATION
ALL UTILITIES, PAVEMENT AND OTHER WORK ON THIS PROJECT HAVE BEEN COMPLETED IN CONFORMITY TO THE PLANS APPROVED BY THE CITY OF AVON LAKE PLANNING COMMISSION ON _____.

BY _____
THE HENRY G. REITZ ENGINEERING CO. DATE

DEVELOPER:
PULTE HOMES
387 MEDINA ROAD
MEDINA, OHIO 44256
(330) 849-3564

THE HENRY G. REITZ ENGINEERING CO.

BY: , PRES.

DATE:

INDEX

TITLE SHEET	1
LAYOUT PLAN	2
GRADING PLAN	3
PLAN & PROFILE SHEET	4-5
RETENTION DETAILS	6
S.W.P.P.P.	7
PAVING & STORM DETAILS	8A&B
SANITARY DETAILS	9
WATER DETAILS	10-11

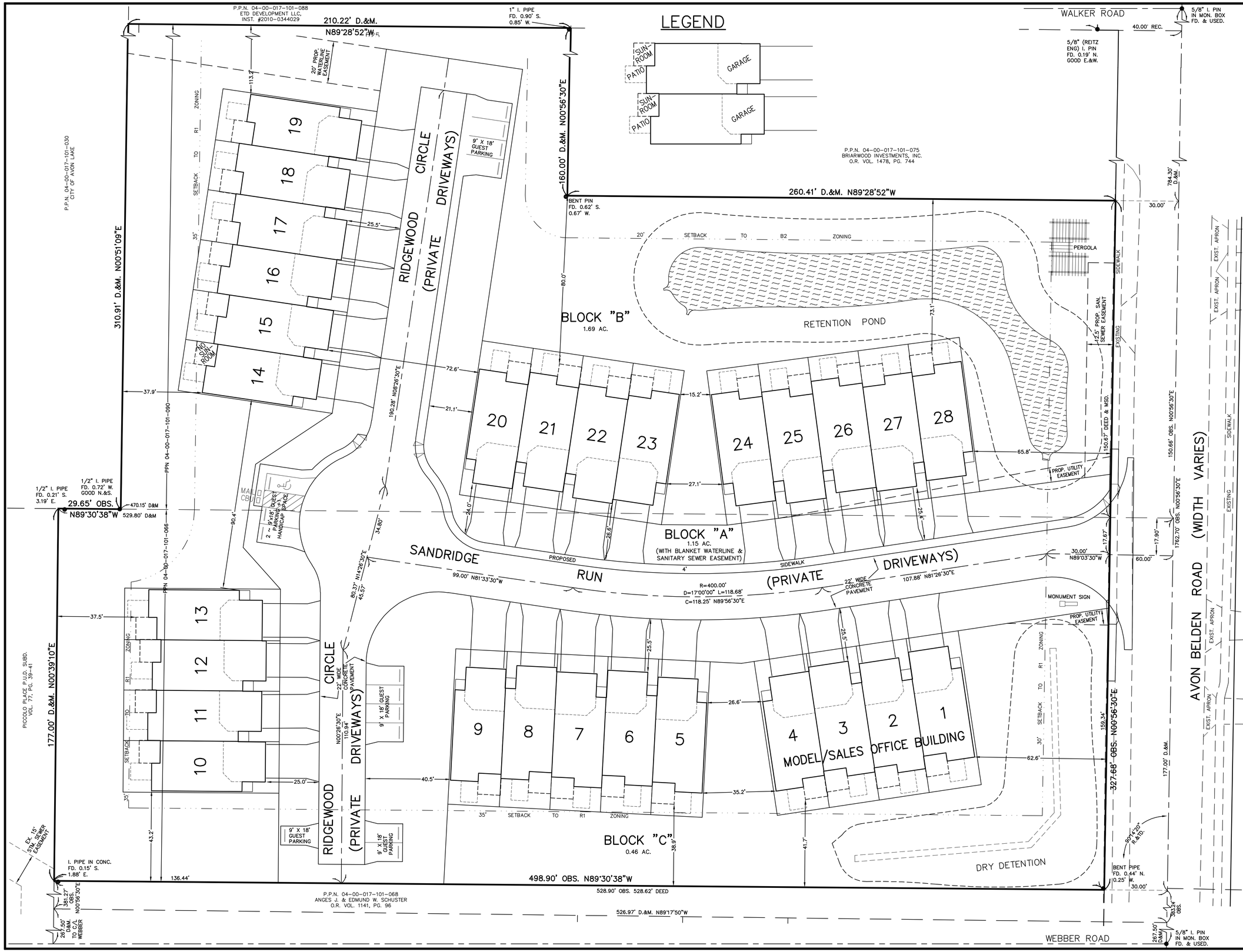
REVISIONS

12/16/2021	REVISED PER REVIEW CYCLE #1 COMMENTS FROM CITY DEPARTMENT HEADS
1/13/2022	CORRECTED NOTE ON SHEET 2 PER 1/13/22 COMMENTS FROM ZONING DEPT.
2/2/2022	REVISED SANITARY CONNECTION TO EXISTING SEWER
5/29/2024	REVISED UNIT FOOTPRINTS AND PROJECT LAYOUT PER 5/16/23 WORK SESSION
7/30/2024	REVISED PER 6/10/24 & 7/12/24 ALRW REVIEW & 7/22/29 CITY ENG. REVIEW
9/18/2024	REVISED NAME OF N-S ORIENTED PRIVATE DR.
5/18/2025	ADDED AS BUILT MEASUREMENTS

SANDRIDGE RUN
R-2 DEVELOPMENT
IMPROVEMENT PLANS

THE HENRY G. REITZ
ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH. 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

MAY 2024



PROPERTY ZONED R-2 MULTI-FAMILY RESIDENTIAL

PPN: 04-00-017-101-066 & -090

FEE SIMPLE FOOTPRINT LOT OWNERSHIP PROPOSED WITH HOMEOWNER ASSOCIATION (H.O.A.) OWNERSHIP OF AND PRIMARY MAINTENANCE RESPONSIBILITY FOR SHARED DRIVEWAYS (STREET PAVEMENT) AND STORM WATER MANAGEMENT SYSTEM (INCLUDING PIPES, STRUCTURES & BASINS) AND OTHER COMMON ELEMENTS (INCLUDING PERGOLA & MONUMENT SIGN.)

MINIMUM FEE SIMPLE LOT SIZE IS 24'x72' = 1,728 SQ. FT.

BLOCK "A" TO BE DEEDED TO H.O.A. AND BLANKET EASEMENT TO THE CITY FOR PUBLIC SANITARY SEWERS AND WATER MAINS.

BLOCKS "B" AND "C" TO BE DEEDED TO H.O.A. AND BLANKET DRAINAGE EASEMENTS TO TO BE GRANTED TO THE CITY TO ENTER AND PERFORM ANY NECESSARY MAINTENANCE IF THE H.O.A. FAILS TO DO SO AND CHARGE THE H.O.A. FOR SAID MAINTENANCE FOR WHICH THE H.O.A. HAS PRIMARY MAINTENANCE RESPONSIBILITY.

EQUIVALENCY PROVISIONS

GRANTED BY ORIGINAL PLANNING COMMISSION APPROVAL FOR COMPLIANCE WITH COMPREHENSIVE LAND USE PLAN AND PENDING CODE UPDATE THAT PLANNING COMMISSION HAD APPROVED.

1. DENSITY > 5 UNITS/ACRE;
2. LESS THAN 35' REAR SETBACK AGAINST CITY PROPERTY; (NO LONGER REQUIRED SINCE REVISED BUILDING FOOTPRINTS ONLY HAVE ONE OPEN PATIO IN SETBACK.)
3. LESS THAN 35' SETBACK FOR GUEST PARKING SPACES;
4. MINIMUM SPACING BETWEEN BUILDINGS; (NO LONGER REQUIRED SINCE THE JANUARY 2022 CODE UPDATE CHANGED THE MINIMUM BUILDING SPACING.)

NOTE: 6/15/26 MEMO FROM CITY CODE ADMINISTRATOR ACKNOWLEDGES WORK PERFORMED TO DATE CAN CONTINUE AFTER ADMINISTRATIVE REVIEW OF MINOR REVISIONS TO IMPROVEMENT PLANS. 6/15/26 MEMO FROM CITY CODE ADMINISTRATOR ACKNOWLEDGES WORK PERFORMED TO DATE CAN CONTINUE AFTER ADMINISTRATIVE REVIEW OF MINOR REVISIONS TO IMPROVEMENT PLANS.

TEMP. OFFICE/MODEL HOME

BUILDER ANTICPATES REQUESTING PERMISSION TO BUILD THE FIRST BUILDING ON THE SOUTH SIDE OF THE ENTRY (UNITS 1-4) WITH A SALES OFFICE AND MODEL HOME PRIOR TO FINAL PLAT APPROVAL AS ALLOWED AS A TEMPORARY USE IN CODE CHAPTER 1224(C)(5) BASED ON THE FACT THAT NO DEDICATION OF PUBLIC RIGHT-OF-WAY IS REQUIRED FOR THIS PROJECT.

REVISIONS

12/16/2021	REVISED PER REVIEW CYCLE #1 COMMENTS FROM CITY DEPARTMENT HEADS
1/13/2022	CORRECTED REQUEST #2 PER 1/13/22 COMMENTS FROM ZONING ADMINISTRATOR
2/2/2022	REVISED SANITARY SEWER EASEMENT FOR NEW ALIGNMENT
5/29/2024	REVISED UNIT FOOTPRINTS AND PROJECT LATOUT PER 5/16/23 WORK SESSION
7/30/2024	REVISED PER 6/10/24 & 7/12/24 ALRW REVIEW & 7/22/29 CITY ENG. REVIEW
9/18/2024	ADDED SUNROOM OPTION INFORMATION & REV. NAME OF N-S ORIENTED PRIVATE DR.

SANDRIDGE RUN R-2 DEVELOPMENT LAYOUT PLAN

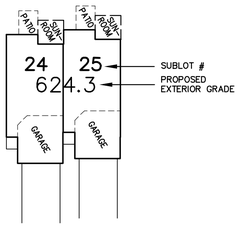
THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZENG.COM

MAY 2024

BENCHMARKS (NAVD88 DATUM)

TOP OF HYDRANT 170' SOUTH OF SITE = 627.70
TOP OF HYDRANT AT N.E. CORNER OF SITE = 628.51
TOP OF HYDRANT AT TACO BELL N. OF SITE = 628.32
COUNTY GPS MON. W. SIDE OF AVON BELDEN
570' N. OF WALKER RD. = 623.06

LEGEND



625 — DENOTES CONTOUR LINES BEFORE DEVELOPMENT

625 — DENOTES PROPOSED CONTOUR LINES

626.9 — EXISTING ELEVATION
626.9 — PROPOSED ELEVATION

DIRECTION OF SWALE

CURB INLET & STORM MANHOLE &

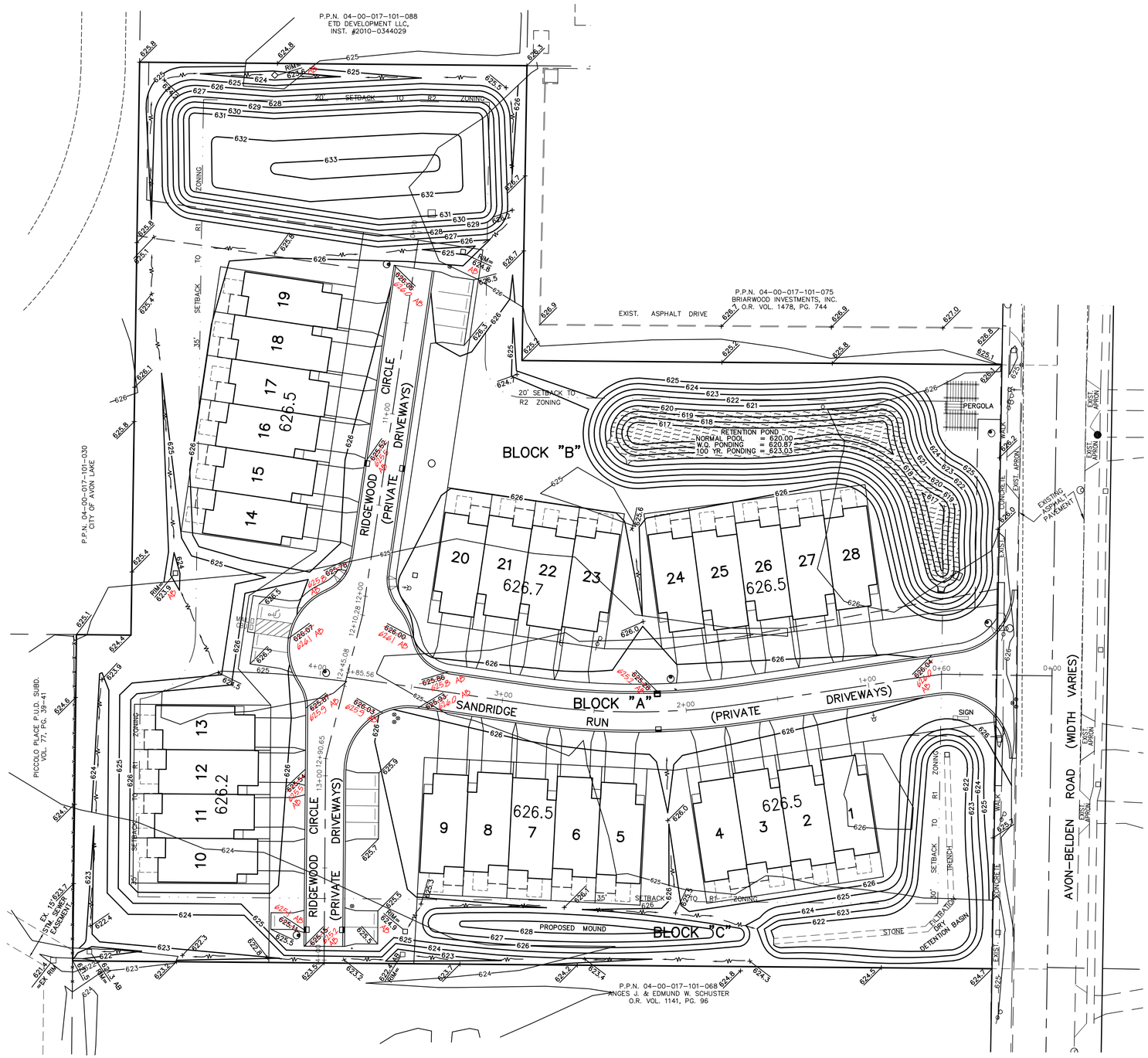
SANITARY MANHOLE

WATERLINE, VALVE & BOX

HYDRANT ASSEMBLY

REAR YARD DRAINS (TO BE INSTALLED AT TIME OF UNDERGROUND IMPROVEMENTS)

SETBACK LINES



REVISIONS

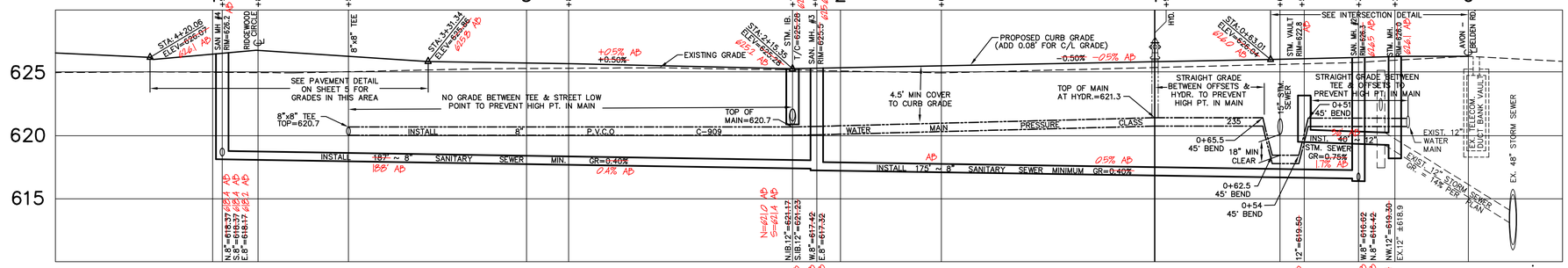
12/16/2021	REVISED PER REVIEW CYCLE #1 COMMENTS FROM CITY DEPARTMENT HEADS
2/2/2022	REVISED SANITARY CONNECTION TO EXISTING SEWER
5/29/2024	REVISED UNIT FOOTPRINTS AND PROJECT LAYOUT PER 5/16/23 WORK SESSION
7/30/2024	REVISED PER 6/10/24 & 7/12/24 ALERW REVIEW & 7/22/29 CITY ENG. REVIEW
9/18/2024	REVISED NAME OF N-S ORIENTED PRIVATE DR.
5/28/2025	ADDED AS BUILT MEASUREMENTS

SANDRIDGE RUN R-2 DEVELOPMENT GRADING PLAN

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

MAY 2024

SANDRIDGE RUN PRIVATE DRIVEWAYS PROFILE



NOTES:

* BLOCK "A" PRIVATE STREET TO BE COVERED BY BLANKET SANITARY SEWER AND WATER MAIN EASEMENT.

LIMESTONE PREMIUM BACKFILL IS REQUIRED UNDER ALL PAVEMENT INCLUDING UNDER SIDEWALKS AND GUEST PARKING SPACES.

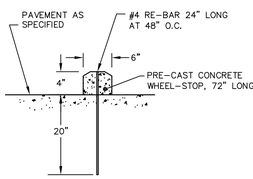
FOR NON-PRESSURE SEWER LINES AFTER INITIAL 12" COVER ABOVE TOP OF PIPE MAY BE RECYCLED CONCRETE MEETING O.D.O.T. STANDARDS.

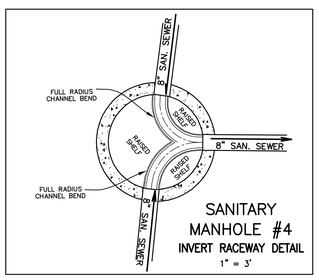
DEVELOPER TO PROVIDE 3 YEAR GUARANTEE FOR REPAIR OF STREET, SIDEWALK OR DRIVE PAVEMENT FAILURES FROM TRENCH SETTLEMENT.

NO MANHOLES, LINE VALVES, OR CLEANOUTS ARE TO BE LOCATED IN DRIVES OR WALKS.

CONCRETE WHEEL STOP DETAIL

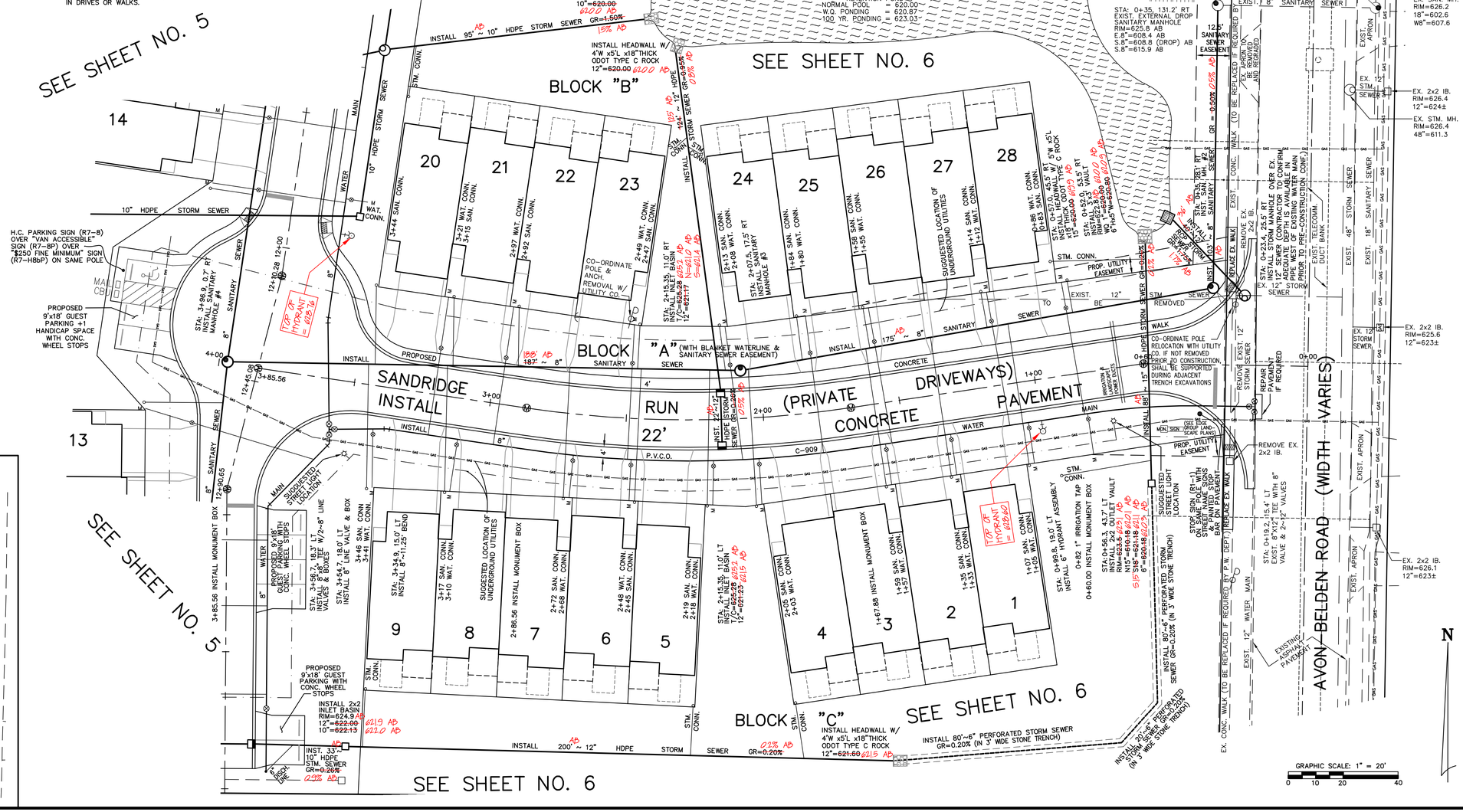
NOT TO SCALE



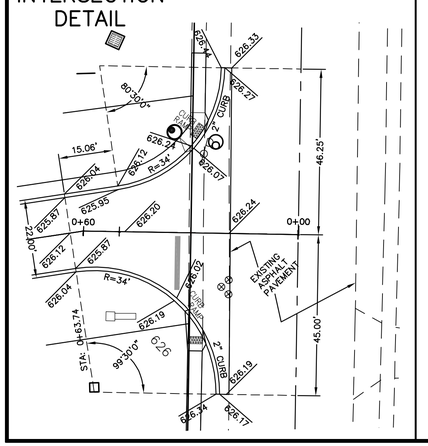


SANITARY MANHOLE #4 INVERT RACEWAY DETAIL

1" = 3'



INTERSECTION DETAIL

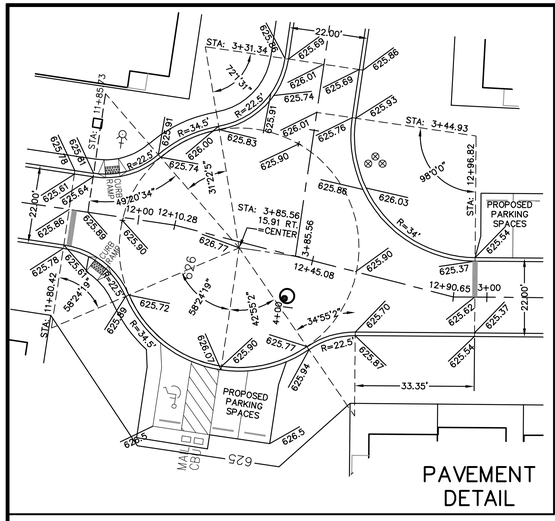


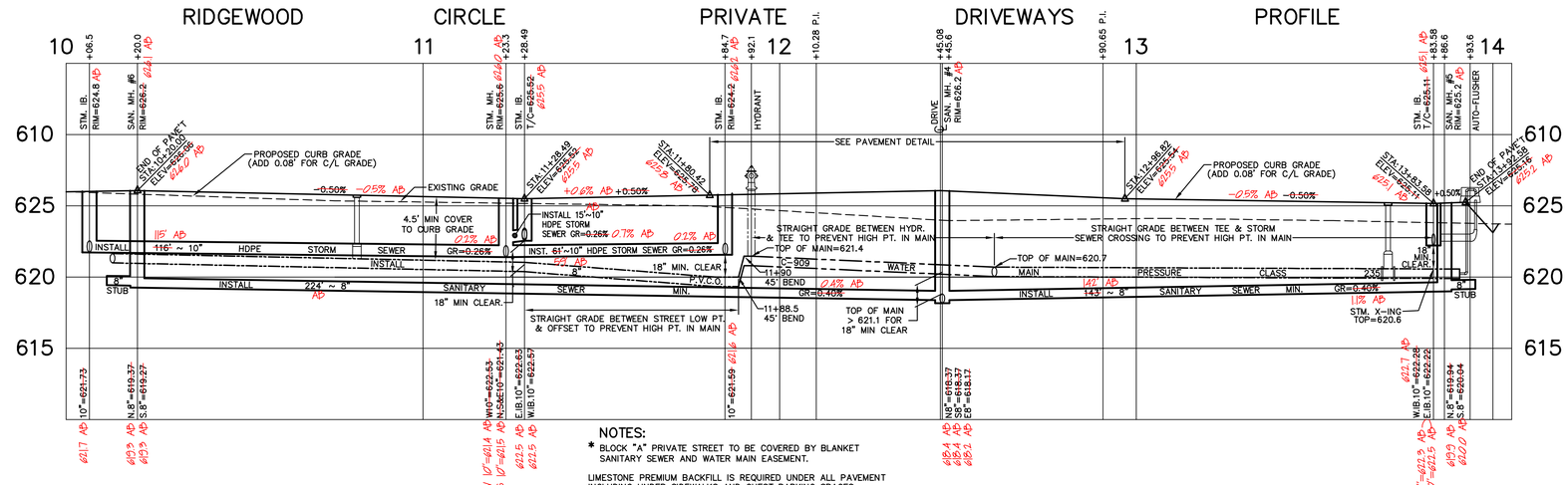
REVISIONS	
12/16/2021	REVISED PER REVIEW CYCLE #1 COMMENTS FROM CITY DEPARTMENT HEADS
2/2/2022	REVISED SANITARY CONNECTION TO EXISTING SEWER
5/29/2024	REVISED UNIT FOOTPRINTS AND PROJECT LAYOUT PER 5/16/23 WORK SESSION & ADDED AS-BUILT OBSERVATIONS TO DATE
7/30/2024	REVISED PER 6/10/24 & 7/12/24 ALRM REVIEW & 7/22/29 CITY ENG. REVIEW
9/18/2024	REVISED NAME OF N-S ORIENTED PRIVATE DR.
5/28/1205	ADDED AS BUILT MEASUREMENTS

SANDRIDGE RUN R-2 DEVELOPMENT IMPROVEMENT PLANS

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH. 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

MAY 2024





NOTES:

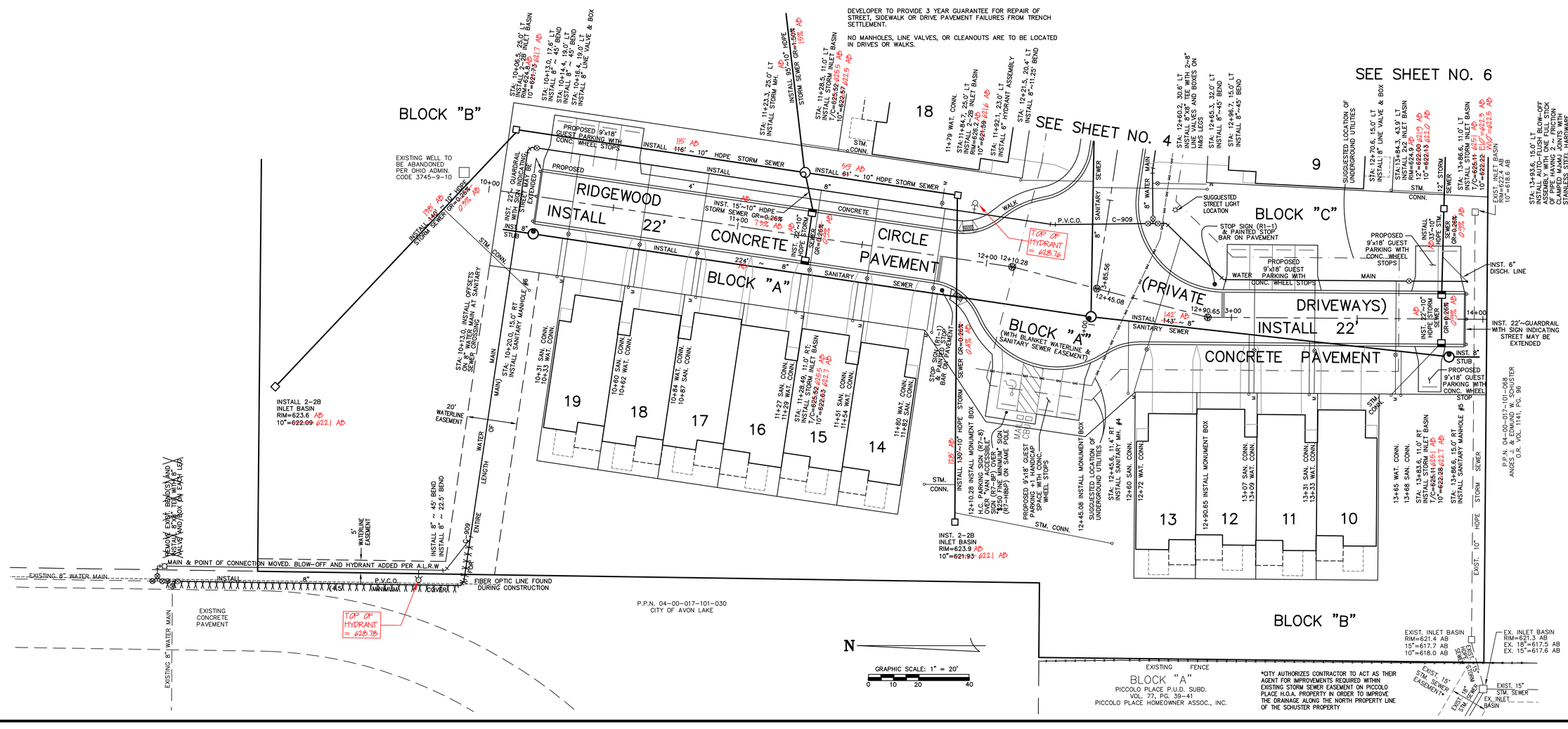
* BLOCK "A" PRIVATE STREET TO BE COVERED BY BLANKET SANITARY SEWER AND WATER MAIN EASEMENT.

LIMESTONE PREMIUM BACKFILL IS REQUIRED UNDER ALL PAVEMENT INCLUDING UNDER SIDEWALKS AND GUEST PARKING SPACES.

FOR NON-PRESSURE SEWER LINES AFTER INITIAL 12" COVER ABOVE TOP OF PIPE MAY BE RECYCLED CONCRETE MEETING O.D.O.T. STANDARDS.

DEVELOPER TO PROVIDE 3 YEAR GUARANTEE FOR REPAIR OF STREET, SIDEWALK OR DRIVE PAVEMENT FAILURES FROM TRENCH SETTLEMENT.

NO MANHOLES, LINE VALVES, OR CLEANOUTS ARE TO BE LOCATED IN DRIVES OR WALKS.



*CITY AUTHORIZES CONTRACTOR TO ACT AS THEIR AGENT FOR IMPROVEMENTS REQUIRED WITHIN EXISTING STORM SEWER EASEMENT ON PICCOLO PLACE H.O.A. PROPERTY IN ORDER TO IMPROVE THE DRAINAGE ALONG THE NORTH PROPERTY LINE OF THE SCHUSTER PROPERTY

REVISIONS

12/16/2021	REVISED PER REVIEW CYCLE #1 COMMENTS FROM CITY DEPARTMENT HEADS
5/29/2024	REVISED UNIT FOOTPRINTS AND PROJECT LAYOUT PER 5/16/23 WORK SESSION & ADDED AS-BUILT OBSERVATIONS TO DATE
7/30/2024	REVISED PER 6/10/24 & 7/12/24 ALRW REVIEW & 7/22/29 CITY ENG. REVIEW
9/18/2024	REVISED NAME OF N-S ORIENTED PRIVATE DR.
5/28/2025	ADDED AS BUILT MEASUREMENTS

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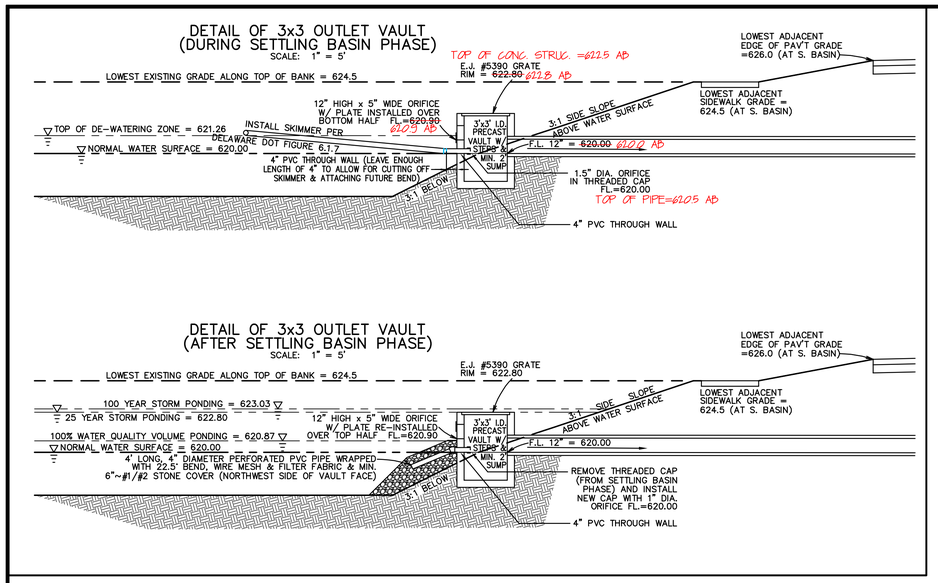
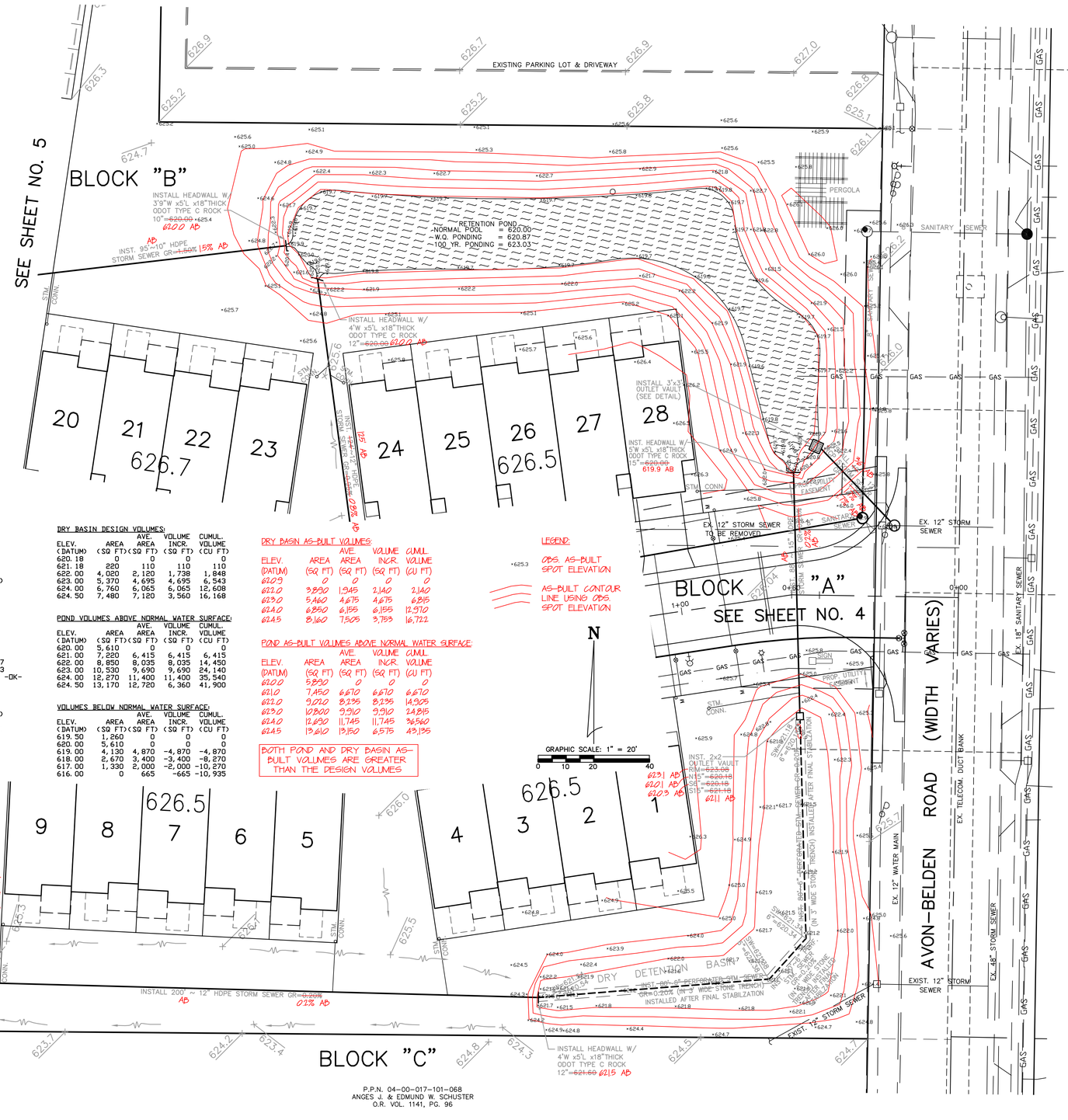
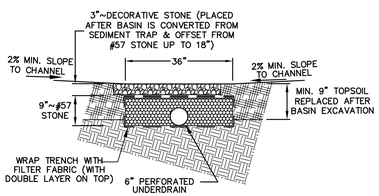




TEMPORARY SETTLING BASIN DESIGN CALCULATIONS

TOTAL TRIBUTARY AREA OF STORMWATER RUNOFF = 4.71 AC.
DEWATERING ZONE = (4.71 AC.) X (1,800 CF/AC.) = 8,478 CU. FT.
BASIN PONDING ELEV. AT 8,478 = 621.26
DEWATERING ZONE AVE. H = (621.26-620.00)/2 = 0.63'
AVE. DISCH. FOR DEWATERING ZONE,
Q =8,478 CU. FT./(24 HR.*3600 S/HR.) =0.0981 CFS.
ORIFICE AREA REQUIRED TO PROVIDE AVE DISCHARGE AT 1/2 DEWATER ZONE RISE
=Q/0.6[64.4(AVE. H)]**0.5 =0.0981/0.6[64.4*(0.63')]**0.5 =0.0154 S.F. = 2.22 S.I.
USE 1.5" DIA. ROUND HOLE, A = 1.77 S.I.

DISTURBED AREA TRIBUTARY = 4.25 AC.
REQ. SEDIMENT STORAGE VOL. = (4.25 AC.) X (1,000 CF/AC.) = 4,250 CU. FT.
VOL. BELOW NORMAL WATER SURFACE = 10,935 CU. FT. > REQ. STORAGE VOLUME! -OK-



STONE FILTRATION TRENCH
CROSS-SECTION VIEW
1"=2'

WATER QUALITY VOLUME CALCULATIONS FOR WET BASIN:

IMPERVIOUS AREAS:
BEFORE DEVELOPMENT: +/-12% IMPERVIOUS
AFTER DEVELOPMENT: = 40% IMPERVIOUS (WEIGHTED AVE. OF SWMM SUBCATCHMENTS)

WATER QUALITY VOLUME REQUIRED:
RV = 0.05 + 0.9(FRACTION IMPERV., AFTER DEV.)
= 0.05 + 0.9(.40) = 0.410
WQV = (RV)(TOTAL AREA TRIB.)(0.90"/12)
= (0.410)(4.17 AC.)(0.90"/12)
= 0.128 AC.-FT. (X 43,560 = 5,577 CU. FT.)

W.Q. BASIN CALCULATIONS:
(FROM VOLUMES ABOVE NORMAL WATER SURFACE TABLE AT RIGHT)
100% WATER QUALITY VOLUME (5,440 CU. FT.) OCCURS AT ELEVATION = 620.87
50% WATER QUALITY VOLUME (2,720 CU. FT.) OCCURS AT ELEVATION = 620.43
VOLUME BELOW NORMAL WATER SURFACE > 20% WATER QUALITY VOL. (1,115 CF) -OK-

ORIFICE SIZE:
HEAD FOR WATER QUALITY ORIFICE AT 50% W.Q. VOLUME
= 620.43 - 620.00 = 0.04 = 0.39'
AVE. DISCH. FOR 100% W.Q. VOLUME, Q (OVER 48 HRS FOR DRY DETENTION)
= 5,577 CU. FT./(48 HR. * 3600 S/HR.) = 0.0323 CFS.
ORIFICE REQUIRED TO PROVIDE AVE DISCHARGE AT 1/2 WATER QUALITY RISE
A=Q/(0.6)[(64.4*H)**0.5] =0.0323/0.6[(64.4*0.39')**0.5]
=0.0107 S.F. = 1.54 SQ. IN.
USE 1" DIA. ROUND HOLE, A = 0.78 SQ. IN.

DRY BASIN DESIGN VOLUMES:

ELEV. (DATUM)	AREA (SQ FT)	AVE. AREA (SQ FT)	VOLUME INCR. (SQ FT)	CUMUL. VOLUME (CU FT)
620.18	0	0	0	0
621.18	220	110	110	110
622.00	4,020	2,120	1,738	1,848
623.00	5,370	4,695	4,695	6,543
624.00	6,760	6,065	6,065	12,608
624.50	7,480	7,120	3,560	16,168

POND VOLUMES ABOVE NORMAL WATER SURFACE:

ELEV. (DATUM)	AREA (SQ FT)	AVE. AREA (SQ FT)	VOLUME INCR. (SQ FT)	CUMUL. VOLUME (CU FT)
620.00	5,610	0	0	0
621.00	7,220	6,415	6,415	6,415
622.00	8,850	8,035	8,035	14,450
623.00	10,530	9,690	9,690	24,140
624.00	12,270	11,400	11,400	35,540
624.50	13,170	12,720	6,360	41,900

VOLUMES BELOW NORMAL WATER SURFACE:

ELEV. (DATUM)	AREA (SQ FT)	AVE. AREA (SQ FT)	VOLUME INCR. (SQ FT)	CUMUL. VOLUME (CU FT)
619.50	1,260	0	0	0
620.00	5,610	0	0	0
619.00	4,130	4,870	-4,870	-4,870
618.00	2,670	3,400	-3,400	-8,270
617.00	1,330	2,000	-2,000	-10,270
616.00	0	665	-665	-10,935

DRY BASIN AS-BUILT VOLUMES:

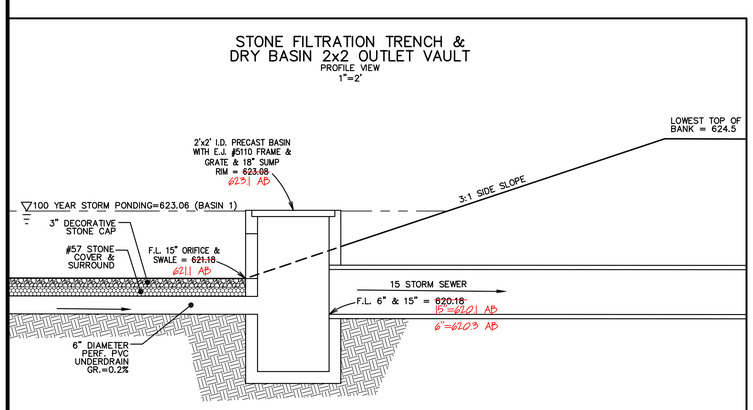
ELEV. (DATUM)	AREA (SQ FT)	AVE. AREA (SQ FT)	VOLUME INCR. (SQ FT)	CUML VOLUME (CU FT)
620.9	0	0	0	0
621.0	3,890	1,945	2,140	2,140
622.0	5,460	4,675	4,675	6,815
624.0	6,850	6,155	6,155	12,970
624.5	8,160	7,505	3,753	16,722

POND AS-BUILT VOLUMES ABOVE NORMAL WATER SURFACE:

ELEV. (DATUM)	AREA (SQ FT)	AVE. AREA (SQ FT)	VOLUME INCR. (SQ FT)	CUML VOLUME (CU FT)
620.0	5,890	0	0	0
621.0	7,450	6,670	6,670	6,670
622.0	9,010	8,235	8,235	14,905
623.0	10,800	9,910	9,910	24,815
624.0	12,890	11,745	11,745	36,560
624.5	13,610	13,150	6,575	43,135

BOTH POND AND DRY BASIN AS-BUILT VOLUMES ARE GREATER THAN THE DESIGN VOLUMES

LEGEND:
OBS. AS-BUILT SPOT ELEVATION
AS-BUILT CONTOUR LINE USING OBS. SPOT ELEVATION



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7/30/2024	REVISED PER 6/10/24 & 7/12/24 ALRW REVIEW & 7/22/29 CITY ENG. REVIEW
5/18/2026	AS-BUILT OBSERVATIONS ADDED

SANDRIDGE RUN R-2 DEVELOPMENT
RETENTION BASIN DETAILS

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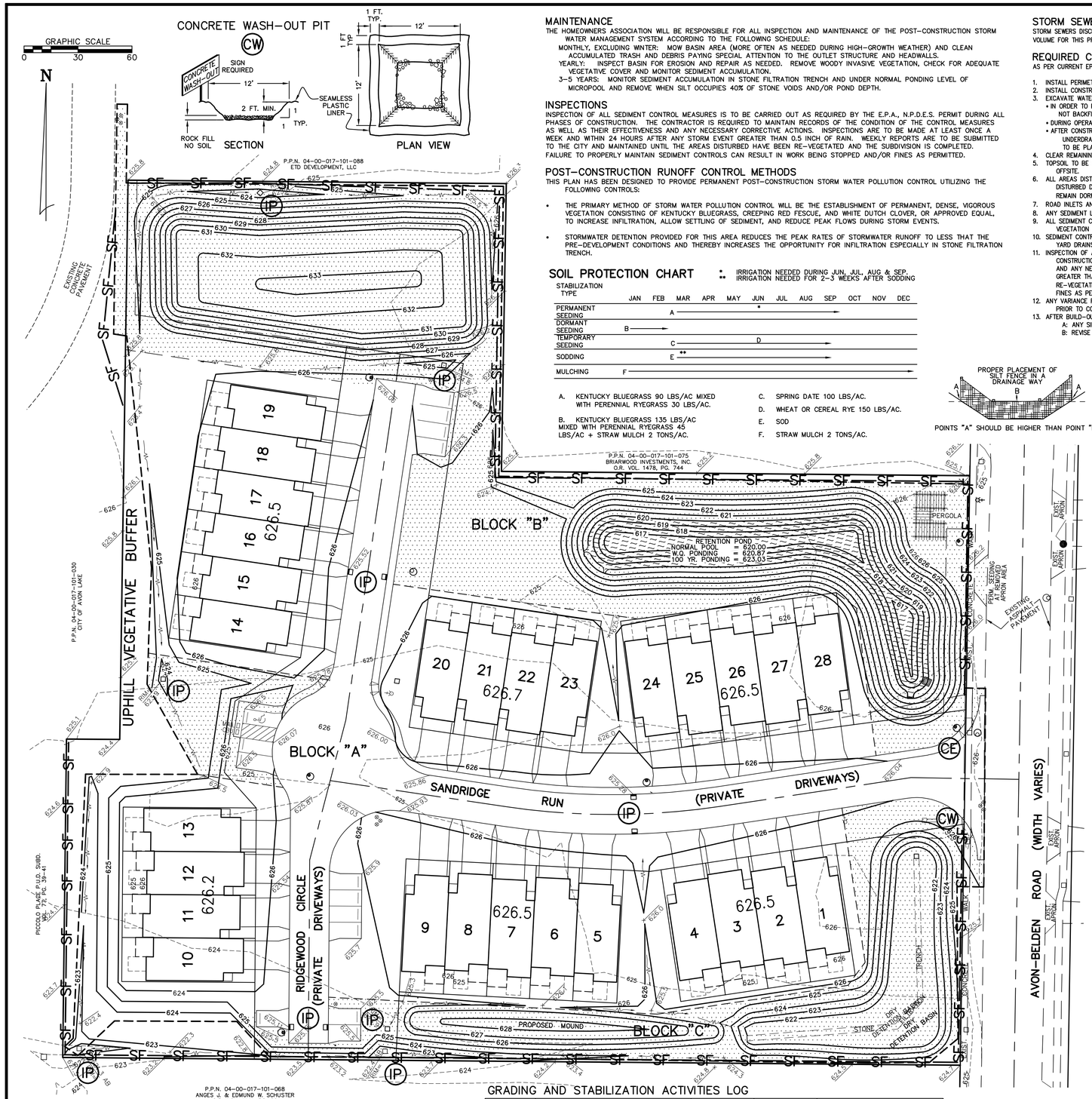
MAY 2024



MAINTENANCE

THE HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR ALL INSPECTION AND MAINTENANCE OF THE POST-CONSTRUCTION STORM WATER MANAGEMENT SYSTEM ACCORDING TO THE FOLLOWING SCHEDULE:

MONTHLY, EXCLUDING WINTER: MOW BASIN AREA (MORE OFTEN AS NEEDED DURING HIGH-GROWTH WEATHER) AND CLEAN ACCUMULATED TRASH AND DEBRIS PAYING SPECIAL ATTENTION TO THE OUTLET STRUCTURE AND HEADWALLS.

YEARLY: INSPECT BASIN FOR EROSION AND REPAIR AS NEEDED. REMOVE WOODY INVASIVE VEGETATION, CHECK FOR ADEQUATE VEGETATIVE COVER AND MONITOR SEDIMENT ACCUMULATION.

3-5 YEARS: MONITOR SEDIMENT ACCUMULATION IN STONE FILTRATION TRENCH AND UNDER NORMAL PONDING LEVEL OF MICROPOOL AND REMOVE WHEN SILT OCCUPIES 40% OF STONE VOIDS AND/OR POND DEPTH.

INSPECTIONS

INSPECTION OF ALL SEDIMENT CONTROL MEASURES IS TO BE CARRIED OUT AS REQUIRED BY THE E.P.A., N.P.D.E.S. PERMIT DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO MAINTAIN RECORDS OF THE CONDITION OF THE CONTROL MEASURES AS WELL AS THEIR EFFECTIVENESS AND ANY NECESSARY CORRECTIVE ACTIONS. INSPECTIONS ARE TO BE MADE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCH OF RAIN. WEEKLY REPORTS ARE TO BE SUBMITTED TO THE CITY AND MAINTAINED UNTIL THE AREAS DISTURBED HAVE BEEN RE-VEGETATED AND THE SUBDIVISION IS COMPLETED. FAILURE TO PROPERLY MAINTAIN SEDIMENT CONTROLS CAN RESULT IN WORK BEING STOPPED AND/OR FINES AS PERMITTED.

POST-CONSTRUCTION RUNOFF CONTROL METHODS

THIS PLAN HAS BEEN DESIGNED TO PROVIDE PERMANENT POST-CONSTRUCTION STORM WATER POLLUTION CONTROL UTILIZING THE FOLLOWING CONTROLS:

- THE PRIMARY METHOD OF STORM WATER POLLUTION CONTROL WILL BE THE ESTABLISHMENT OF PERMANENT, DENSE, VIGOROUS VEGETATION CONSISTING OF KENTUCKY BLUEGRASS, CREEPING RED FESCUE, AND WHITE DUTCH CLOVER, OR APPROVED EQUAL, TO INCREASE INFILTRATION, ALLOW SETTLING OF SEDIMENT, AND REDUCE PEAK FLOWS DURING STORM EVENTS.
- STORMWATER DETENTION PROVIDED FOR THIS AREA REDUCES THE PEAK RATES OF STORMWATER RUNOFF TO LESS THAT THE PRE-DEVELOPMENT CONDITIONS AND THEREBY INCREASES THE OPPORTUNITY FOR INFILTRATION ESPECIALLY IN STONE FILTRATION TRENCH.

SOIL PROTECTION CHART

* IRRIGATION NEEDED DURING JUN, JUL, AUG & SEP.
** IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SODDING

STABILIZATION TYPE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING			A				*					
DORMANT SEEDING	B											
TEMPORARY SEEDING			C				D					
SODDING			E				**					
MULCHING	F											

A. KENTUCKY BLUEGRASS 90 LBS/AC MIXED WITH PERENNIAL RYEGRASS 30 LBS/AC.

B. KENTUCKY BLUEGRASS 135 LBS/AC MIXED WITH PERENNIAL RYEGRASS 45 LBS/AC + STRAW MULCH 2 TONS/AC.

C. SPRING DATE 100 LBS/AC.

D. WHEAT OR CEREAL RYE 150 LBS/AC.

E. SOD

F. STRAW MULCH 2 TONS/AC.

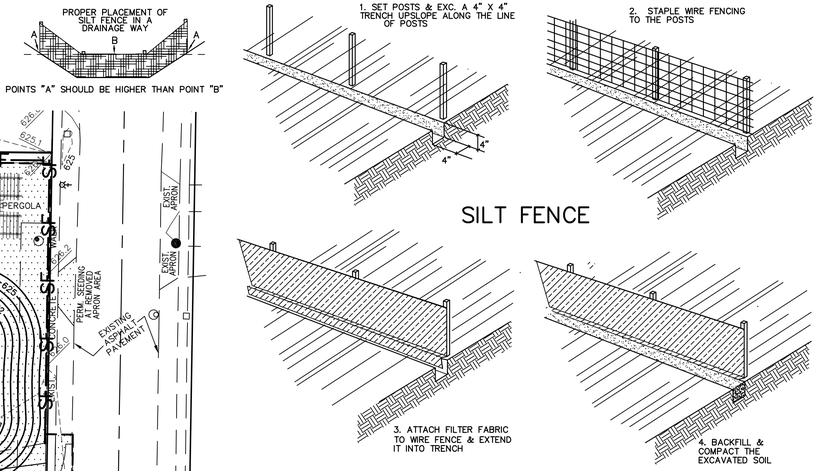
STORM SEWER DISCHARGE POINT

STORM SEWERS DISCHARGE INTO A SERIES OF DRY AND WET DETENTION BASINS DESIGNED TO PROVIDE NECESSARY FLOOD CONTROL STORAGE AND WATER QUALITY VOLUME FOR THIS PROJECT. FINAL DISCHARGE FROM POND FLOWS INTO 48" MUNICIPAL STORM SEWER IN AVON-BELDEN ROAD.

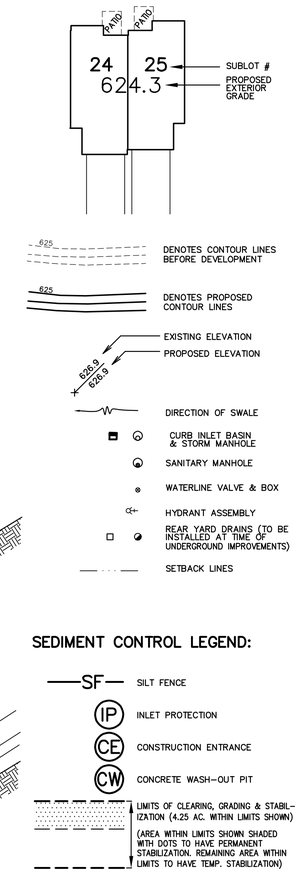
REQUIRED CONSTRUCTION SEQUENCE FOR SEDIMENT CONTROL

AS PER CURRENT EPA REGULATIONS EROSION AND SEDIMENT CONTROL MUST BE INSTALLED AT TIME OF CLEARING OR PRIOR TO ANY EARTH DISTURBING ACTIVITY.

1. INSTALL PERIMETER SILT FENCING WHERE INDICATED.
2. INSTALL CONSTRUCTION ENTRANCE WHERE INDICATED.
3. EXCAVATE WATER QUALITY AND RETENTION BASINS TO BE USED FOR SEDIMENT CONTROL.
   - IN ORDER TO PREVENT FILTRATION TRENCH STONE VOIDS TO BECOME CHOKED WITH SILT, TRENCH TO BE EXCAVATED FOR SEDIMENT STORAGE VOLUME BUT NOT BACKFILLED WITH STONE UNTIL AFTER CONSTRUCTION AND SITE STABILIZATION.
   - DURING OPERATION AS A SEDIMENT BASIN A DELAWARE SKIMMER IS TO BE ATTACHED TO OUTLET VAULT (CAPPED WITH 1.75" ORIFICE ON INSIDE OF VAULT.)
   - AFTER CONSTRUCTION AND STABILIZATION, ACCUMULATED SEDIMENT TO BE REMOVED FROM TRENCH AND BASIN AND SKIMMER IS TO BE REMOVED. THEN UNDERDRAIN IS TO BE INSTALLED AND CONNECTED TO THE 4" PIPE THROUGH THE OUTLET VAULT AND THE FILTER FABRIC AND #57 STONE BACKFILL IS TO BE PLACED IN THE FILTER TRENCH.
4. CLEAR REMAINING WORK AREAS WITHIN LIMITS OF CLEARING.
5. TOPSOIL TO BE STRIPPED FROM ALL WORK AREAS AND PLACED IN LANDSCAPE MOUNDS, STOCKPILED IN WINDROWS OR LOADED INTO TRUCKS TO DISPOSE OF OFFSITE.
6. ALL AREAS DISTURBED DURING MASS GRADING, SEWER OR SWALE INSTALLATION TO BE SEEDED AS SOON AS INSTALLATION IS COMPLETE AND ALL AREAS DISTURBED DURING MASS GRADING TO BE SEEDED AS SOON AS FINISHED GRADE IS REACHED. ANY AREA, INCLUDING TOPSOIL STOCKPILES, THAT WILL REMAIN DORMANT FOR TWENTY-ONE (21) DAYS SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA.
7. ROAD INLETS AND YARD DRAINS TO BE PROTECTED BY INSTALLING, CLEANING AND MAINTAINING FILTERS ON GRATES ("BLOCKSUM" OR APPROVED EQUAL).
8. ANY SEDIMENT LADEN GROUND WATER ENCOUNTERED DURING EXCAVATION AND/OR TRENCHING SHALL BE TREATED PRIOR TO DISCHARGE.
9. ALL SEDIMENT CONTROL MEASURES TO BE CLEANED AND MAINTAINED IN GOOD WORKING ORDER THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL VEGETATION HAS BEEN ESTABLISHED.
10. SEDIMENT CONTROL FOR INDIVIDUAL BUILDING CONSTRUCTION TO BE PROVIDED AT EACH BUILDING SITE BY MAINTAINING FILTERS ON STREET INLETS AND REAR YARD DRAINS ACCORDING TO PAGE 14 OF THE ATTACHED S.W.P.P.P.
11. INSPECTION OF ALL SEDIMENT CONTROL MEASURES IS TO BE CARRIED OUT AS REQUIRED BY THE E.P.A., N.P.D.E.S. PERMIT DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO MAINTAIN RECORDS OF THE CONDITION OF THE CONTROL MEASURES AS WELL AS THEIR EFFECTIVENESS AND ANY NECESSARY CORRECTIVE ACTIONS. INSPECTIONS ARE TO BE MADE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCH OF RAIN. WEEKLY REPORTS ARE TO BE SUBMITTED TO THE CITY AND MAINTAINED UNTIL THE AREAS DISTURBED HAVE BEEN RE-VEGETATED AND THE PROJECT IS COMPLETED. FAILURE TO PROPERLY MAINTAIN SEDIMENT CONTROLS CAN RESULT IN WORK BEING STOPPED AND/OR FINES AS PERMITTED.
12. ANY VARIANCE FROM SEQUENCE OF CONSTRUCTION DESCRIBED ON THIS SHEET MUST BE REVIEWED AND APPROVED BY THE CITY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
13. AFTER BUILD-OUT OF ALL RESIDENTIAL BUILDINGS AND ESTABLISHMENT OF PERMANENT VEGETATION:
    A: ANY SILT ACCUMULATED IN THE SETTLING BASIN TO BE REMOVED IF SEDIMENT STORAGE VOLUME IS GREATER THAN 75% FULL.
    B: REVISE OUTLET STRUCTURE PER DETAIL ON SHEET 6.



LEGEND



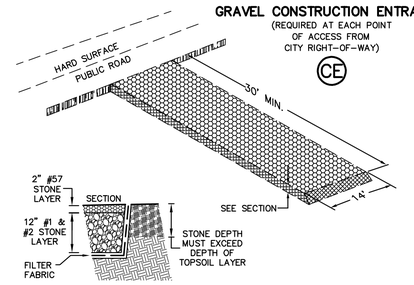
SEDIMENT CONTROL LEGEND:

- —SF— SILT FENCE
- IP INLET PROTECTION
- CE CONSTRUCTION ENTRANCE
- CW CONCRETE WASH-OUT PIT
- LIMITS OF CLEARING, GRADING & STABILIZATION (4.25 AC. WITHIN LIMITS SHOWN)
- (AREA WITHIN LIMITS SHOWN SHADED WITH DOTS TO HAVE PERMANENT STABILIZATION. REMAINING AREA WITHIN LIMITS TO HAVE TEMP. STABILIZATION)

GRAVEL CONSTRUCTION ENTRANCE

(REQUIRED AT EACH POINT OF ACCESS FROM CITY RIGHT-OF-WAY)

CE



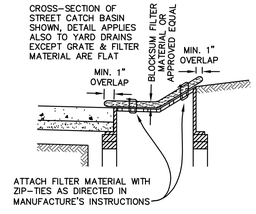
REQUIRED SEQUENCE FOR MASS GRADING

1) STRIP TOPSOIL AND PLACE IN MOUNDS AND INTO WINDROWS FOR RE-SPREADING 8" THICK AT DRY BASIN & WET BASIN BANKS AND BACKFILLING BORROW AREA.
2) PLACE AND COMPACT MATERIAL FROM THE BASIN EXCAVATION AND BORROW PIT OVER STREETS AND BUILDING PADS FILLING TO SUBGRADE ELEVATIONS WITH ALLOWANCE FOR FUTURE PLACEMENT OF TRENCH AND PAVEMENT SLOT SPOILS.
   ± 7,000 C.Y. CLAY FILL REQUIRED AFTER STRIPPING AVAILABLE FROM:
   2,730 C.Y. WET RETENTION
   760 C.Y. DRY RETENTION
   790 C.Y. PAVT SLOT
   1,250 C.Y. TRENCH SPOIL
   1,470 C.Y. BORROW REQUIRED (FROM UNDER RETENTION OR MOUNDS)
3) BACKFILL BORROW AREA AND RE-SPREAD TOPSOIL 8" THICK OVER DRY BASIN AND WET BASIN BANKS WITH WINDROWED TOPSOIL.
4) PLACE FOOTER SPOILS FROM THE TOWNHOMES AS THEY ARE BUILT TO FILL REAR AND SIDE YARDS UP TO FINISH GRADE AND IN MOUND NORTH OF UNIT 19.

INLET PROTECTION

REQUIRED AT ALL NEW STREET INLET BASINS AND YARD DRAINS (AND ON EXISTING INLETS WHERE SPECIFIED)

CROSS-SECTION OF STREET CATCH BASIN SHOWN, DETAIL APPLIES ALSO TO YARD DRAINS EXCEPT GRATE & FILTER MATERIAL ARE FLAT



FUEL STORAGE AREA NOTE:

THE CONTRACTOR DOES NOT ANTICIPATE THE NEED TO HAVE ONSITE FUEL STORAGE. ALL FUEL WILL BE BROUGHT TO THE SITE IN TRUCK MOUNTED TANKS AS NEEDED.

BENCHMARKS

(NAVD88 DATUM)

TOP OF HYDRANT 170' SOUTH OF SITE = 627.70
TOP OF HYDRANT AT N.E. CORNER OF SITE = 628.51
TOP OF HYDRANT AT TACO BELL N. OF SITE = 628.32
COUNTY GPS MON. W. SIDE OF AVON BELDEN 570' N. OF WALKER RD. = 623.06

N.P.D.E.S. PERMIT NO. 3GC12811*AG

CONTRACTOR RESPONSIBLE FOR S.W.P.P.P.

BY: _____

S.W.P.P.P. APPROVED BY CITY OF AVON LAKE

BY: _____

AMENDMENT LOG

AMENDMENT NO.	DESCRIPTION OF THE AMENDMENT	DATE OF AMENDMENTAMENDMENT	PREPARED BY: (NAME(S) AND TITLE)

GRADING AND STABILIZATION ACTIVITIES LOG

DATE GRADING ACTIVITY INITIATED	DESCRIPTION OF GRADING ACTIVITY	DATE GRADING ACTIVITY CEASED (INDICATE TEMP. OR PERMANENT)	DATE WHEN STABILIZATION MEASURES ARE INITIATED	DESCRIPTION OF STABILIZATION MEASURE AND LOCATION

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SANDRIDGE RUN R-2 DEVELOPMENT SWPPP SITE PLAN

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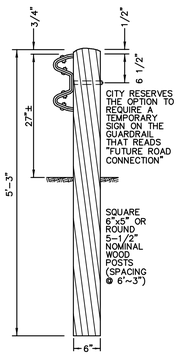
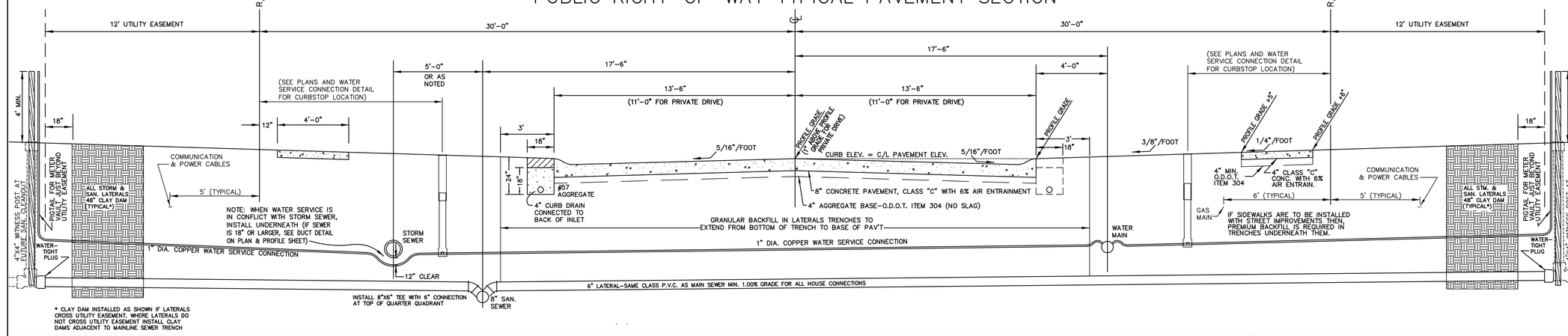
MAY 2024

GUARD RAIL DETAIL

NO SCALE



PUBLIC RIGHT-OF-WAY TYPICAL PAVEMENT SECTION



STREET NAME & STOP SIGN SPECIFICATIONS

STREET NAME AND STOP SIGNS TO HAVE 13 GAGE GALVANIZED ROUND POSTS, 14' IN LENGTH AND PLACED 3' IN GROUND.

STOP SIGNS TO BE 30" DIAMOND GRADE. IF INTERSECTION IS AT A MAIN ROAD DIAMOND GRADE IS RECOMMENDED. INSTALL BOTTOM OF SIGN 7' ABOVE GROUND.

STREET NAME SIGNS TO HAVE 9" ALUMINUM BLADE, 6" LETTERS, DOUBLE-SIDED, DIAMOND GRADE AND WHITE ON GREEN.

ROUND POST CAP FLAT BRACKET IS 12".

CROSS PIECE FLAT BRACKET IS 12".

BOLTS ARE TO BE VANDAL PROOF.

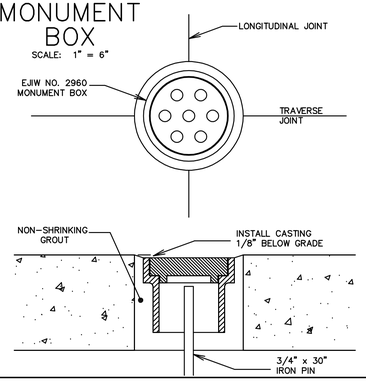
PAVEMENT AT STORM M.H.s

SEE ALRW-SAN-28 DETAIL ON FOLLOWING SHEET FOR PAVEMENT BOX-OUT DETAILS IF M.H. CASTING IS INSIDE PAVEMENT LIMITS

CASTING SHALL BE MIN. 12" FROM EDGE IF IT IS NEAR THE EDGE OF PAVEMENT

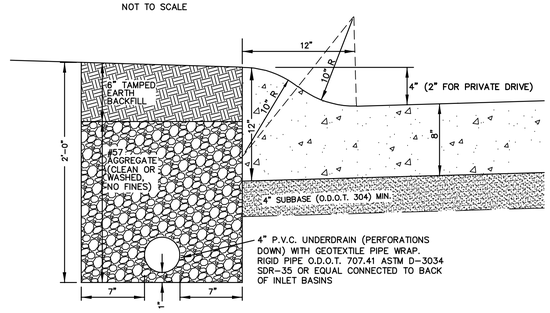
MONUMENT BOX

SCALE: 1" = 6"



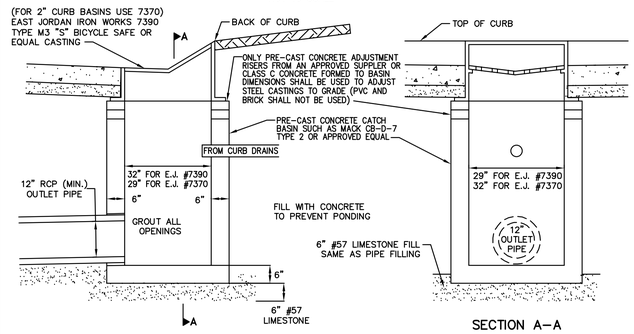
ODOT TYPE 3-A CURB & UNDERDRAIN DETAIL

NOT TO SCALE



CURB INLET BASIN DETAIL

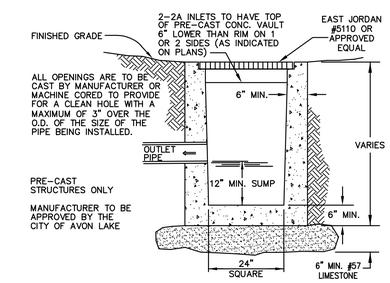
NOT TO SCALE



SECTION A-A

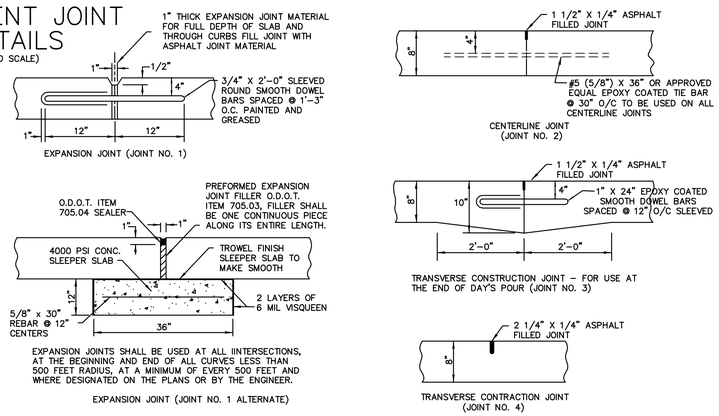
2-2A & 2-2B INLET DETAIL

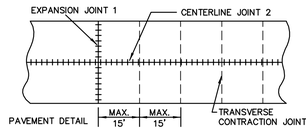
NO SCALE



PAVEMENT JOINT DETAILS

(NO SCALE)





PAVEMENT DETAIL

SUBGRADE COMPACTION:
SUBGRADE OF PAVEMENT SHALL BE COMPACTED IN ACCORDANCE WITH O.D.O.T. ITEM 203.13 SUBGRADE COMPACTION. COMPACTION OF SUBGRADE AND AGGREGATE BASE SHALL BE WITH A MINIMUM TEN (10) TON ROLLER. THE MINIMUM PASSES SHALL BE TWO (2) TO DETERMINE THE STABILITY OF THE SUBGRADE AND BASE. THE CONTRACTOR SHALL CORRECT THE UNSTABLE AREAS SO THE STABILITY OF THE SUBGRADE AND BASE WILL BE UNIFORM AND SATISFACTORY.

AGGREGATE BASE:
TYPE OF AGGREGATE MATERIAL SHALL BE APPROVED BY CITY.

PAVEMENT SEALING:
CURE AND SEAL AGENT TO BE APPROVED BY PUBLIC WORKS PRIOR TO INSTALLATION PER O.D.O.T. SPECIFICATION 451.11

JOINT SEALING:
ONE YEAR AFTER INITIAL JOINT SEALING AND PRIOR TO ACCEPTANCE OF PAVEMENT, ALL JOINTS SHALL BE CLEANED AND RESEALED W/HOT SEALER.

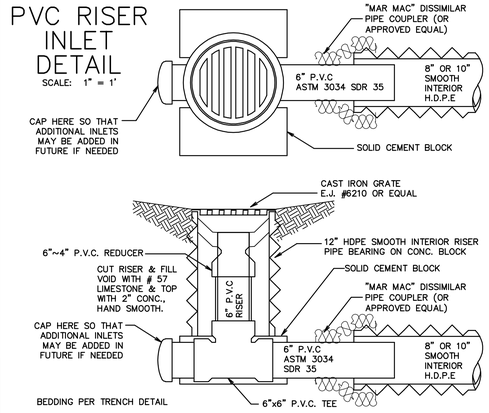
PAVEMENT TESTING:
CONCRETE CYLINDERS AND BREAK RESULTS TO BE PROVIDED TO CITY FOR APPROVAL FOR ALL PUBLIC INFRASTRUCTURE.

TRENCH BACKFILLING:
AFTER INSTALLATION OF SEWERS AND WATER LINE ANY LOOSE FILL UNDER SIDEWALKS OR PAVEMENT SUBBASE SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR MATERIAL. SUCH MATERIAL MAY NOT BE SLAG. SUBBASE INCLUDES THE 18" EXTENSION BEYOND EDGE OF PAVEMENT.

INSTALL TRANSVERSE CONTRACTION JOINTS AT 17' INTERVALS. CONTRACTION JOINTS MAY BE EITHER SAWED OR PREFORMED, ALL JOINTS SHALL BE CLEANED AND SEALED WITH ASPHALT JOINT MATERIAL AS SOON AS POSSIBLE BEFORE ANY TRAFFIC IS PERMITTED ON PAVEMENT.

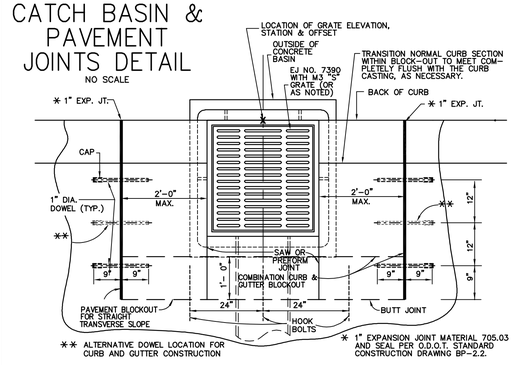
PVC RISER INLET DETAIL

SCALE: 1" = 1'



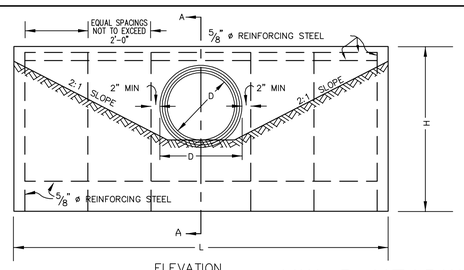
CATCH BASIN & PAVEMENT JOINTS DETAIL

NO SCALE

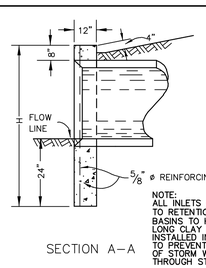


HW-D HEADWALL DETAIL

NO SCALE



ELEVATION



SECTION A-A

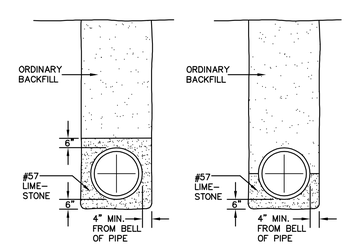
NOTE:
ALL INLETS AND OUTLETS TO RETENTION/DETENTION BASINS TO HAVE 48" LONG CLAY DAMS INSTALLED IN TRENCHES TO PREVENT MIGRATION OF STORM WATER THROUGH STONE BEDDING.

DIMENSIONS			QUANTITIES ONE HEADWALL	
DIAMETER	L	H	CONCRETE CU. YDS.	WEIGHT TONS
8"	3'-6"	4'-2"	0.54	1.09
10"	3'-9"	4'-4	0.57	1.16
12"	4'-0"	4'-6"	0.60	1.22
15"	5'-0"	4'-9"	0.78	1.58
18"	5'-9"	5'-0"	0.93	1.88
21"	6'-9"	5'-3"	1.13	2.29
24"	7'-6"	5'-6"	1.32	2.67
27"	8'-6"	5'-9"	1.55	3.14
30"	9'-3"	6'-0"	1.73	3.51
36"	11'-0"	6'-6"	2.22	4.50

TRENCH DETAILS

(NO SCALE)

NOTES FOR ALL TRENCHES:
1. ALL BEDDING TO BE PER ASTM D-2321 CLASS 2.
2. NO SLAG OR CRUSHED CONCRETE SHALL BE USED FOR BEDDING OR BACKFILL.
3. PROVIDE 4" MINIMUM CLEAR DISTANCE FROM OUTSIDE EDGE OF ANY PIPE FITTING OR BELL TO TRENCH WALL.
4. 6" MAXIMUM FILL AND COMPACT PER AWWA AND ODOT REQUIREMENTS
5. UNDER PAVED AREAS AND SIDEWALK BACKFILL TRENCHES WITH O.D.D.T. 304 LIMESTONE RATHER THAN ORDINARY BACKFILL OR FINE EARTH.



21" & SMALLER R.C.P. STORM SEWER
ALL P.V.C. & H.D.P.E. STORM SEWER

24" & LARGER R.C.P. STORM SEWER

REVISIONS

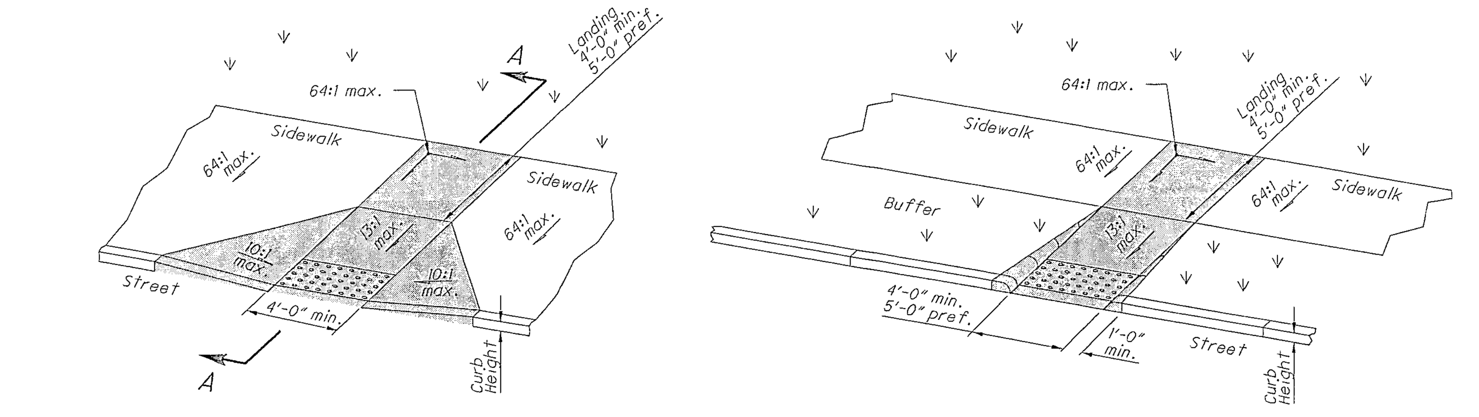
6/20/2024	REV. PER COMMENTS FROM A.L.R.W. & A.L.P.W. ON VARIOUS PROJECTS

SANDRIDGE RUN R-2 DEVELOPMENT DETAIL SHEET

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

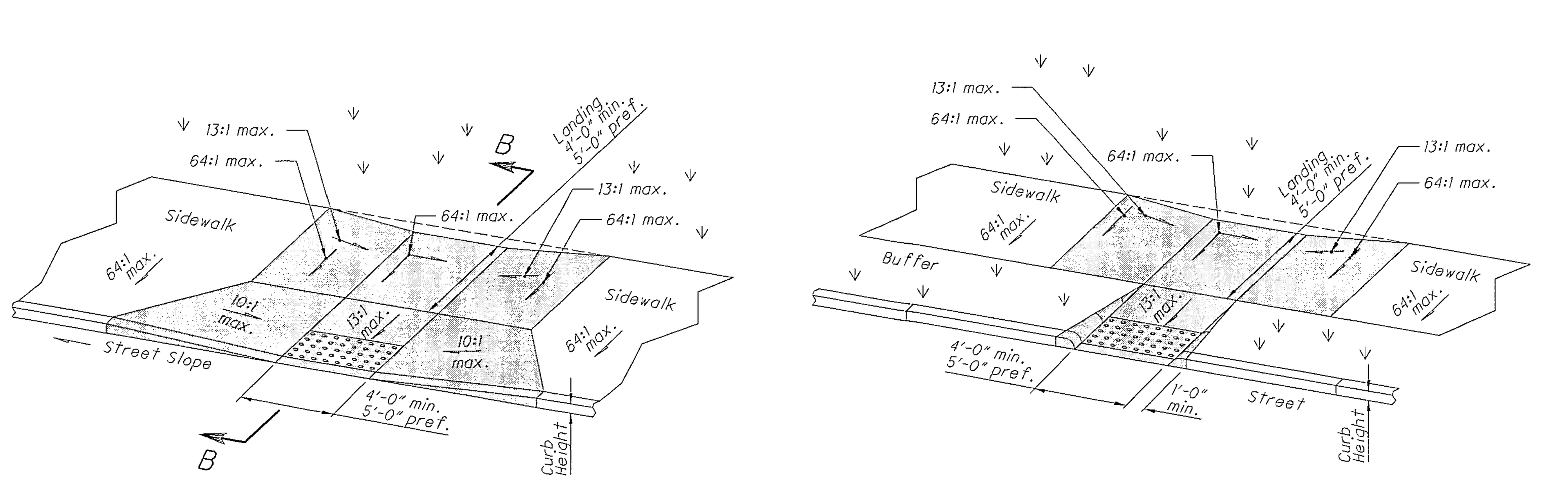
8A / 11

MAY 2024



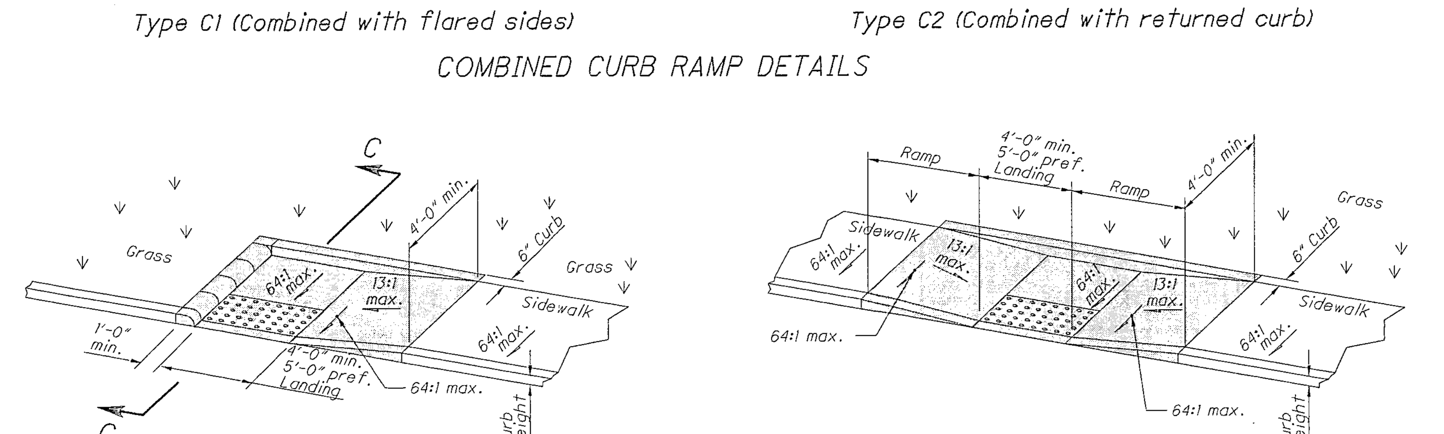
Type A1 (Perpendicular with flared sides) Type A2 (Perpendicular with returned curb)

PERPENDICULAR CURB RAMP DETAILS



Type C1 (Combined with flared sides) Type C2 (Combined with returned curb)

COMBINED CURB RAMP DETAILS



Type B1 (Single sided Parallel) Type B2 (Double sided Parallel)

PARALLEL CURB RAMP DETAILS

NOTES CONTINUED

The running slope of the curb ramp shall be a 13:1 maximum or flatter. In existing sidewalks, where the maximum ramp slope is not feasible due to site constraints (e.g. utility poles or vaults, right-of-way limits) it may be reduced as follows:

A) 10:1 for a max. rise of 6",
B) 8:1 for a max. rise of 3",
C) 6:1 over a max. run of 2'-0" for historic areas where a flatter slope is not feasible.

To prevent chasing the grade indefinately, the transition from exisiting sidewalk to the shaded curb ramp area is not required to exceed 15 feet in length.

While ramps may be skewed to the crosswalk, the entire lower landing area must fall within the cross walk that the ramp serves and cannot be located in the traveled lane of opposing traffic.

The counter slope of the gutter or street at the foot of a curb ramp, landing, or blended transitions shall be 20:1 of flatter.

The bottom edge of the ramp shall change planes perpendicular to the landing.

The edge of the curb shall be flush with the edge of the adjacent pavement and gutter and surface slopes that meet grade breaks shall also be flush.

Ramp landings shall be 4' min. x 4' min. with a 64:1 or flatter cross slope and running slope.

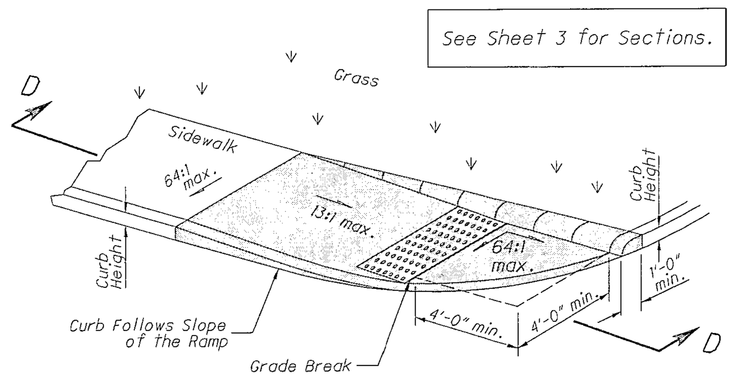
DETECTABLE WARNINGS: Install Detectable Warnings on each curb ramp with approved materials, as shown on Sheet 3. Install these proprietary products as per manufacturer's written instructions.

DRAINAGE: Contractor is to ensure the base of each constructed curb ramp allows for proper drainage, without exceeding allowable cross slope or ramp slopes. Vertical change in level exceeding ⅛" between the 1) pavement and gutter, and 2) gutter and ramp, are not allowed.

SURFACE TEXTURE: Texture concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.

JOINTS: Provide expansion joints in the curb ramp as extensions of walk joints and consistent with Item 608.03 requirements for a new concrete walk. Provide a ½" Item 705.03 expansion joint filler around the edge of ramps built in existing concrete walks. Lines shown on this drawing indicate the ramp edges and slope changes, and do not necessarily indicate joint lines.

See Sheet 3 for Sections.



Type B3 (Single sided Parallel)

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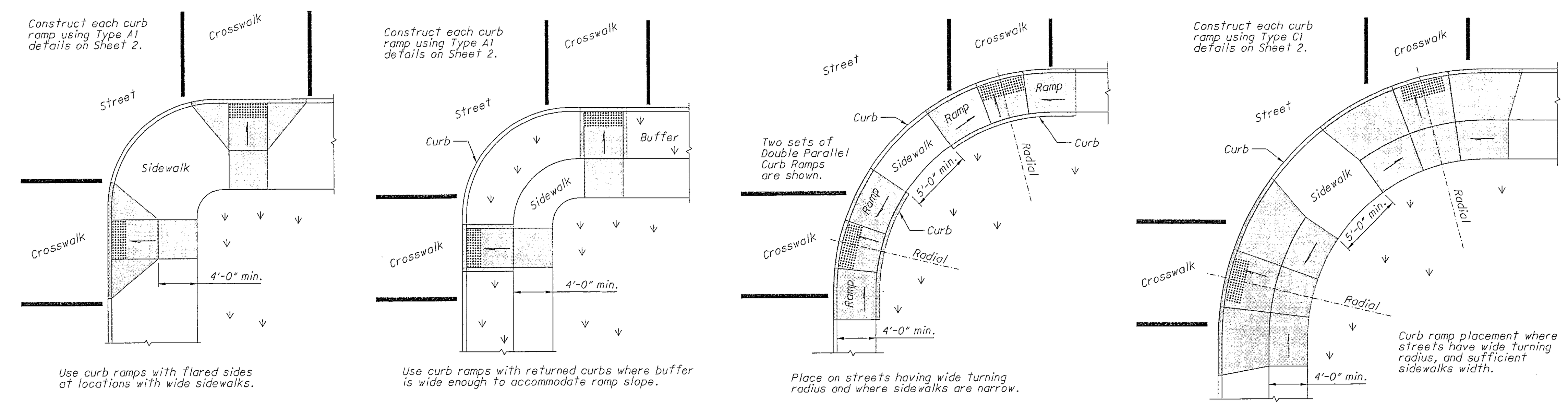


Use curb ramps with flared sides at locations with wide sidewalks.

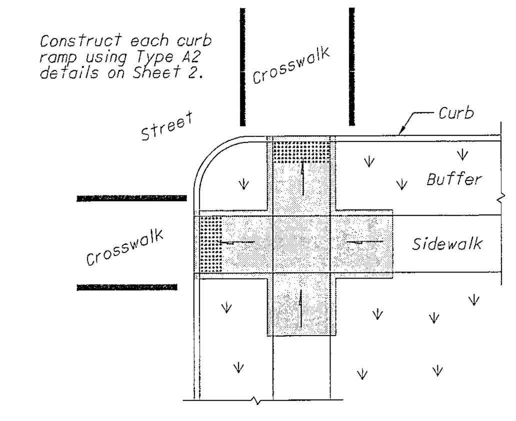
Use curb ramps with returned curbs where buffer is wide enough to accommodate ramp slope.

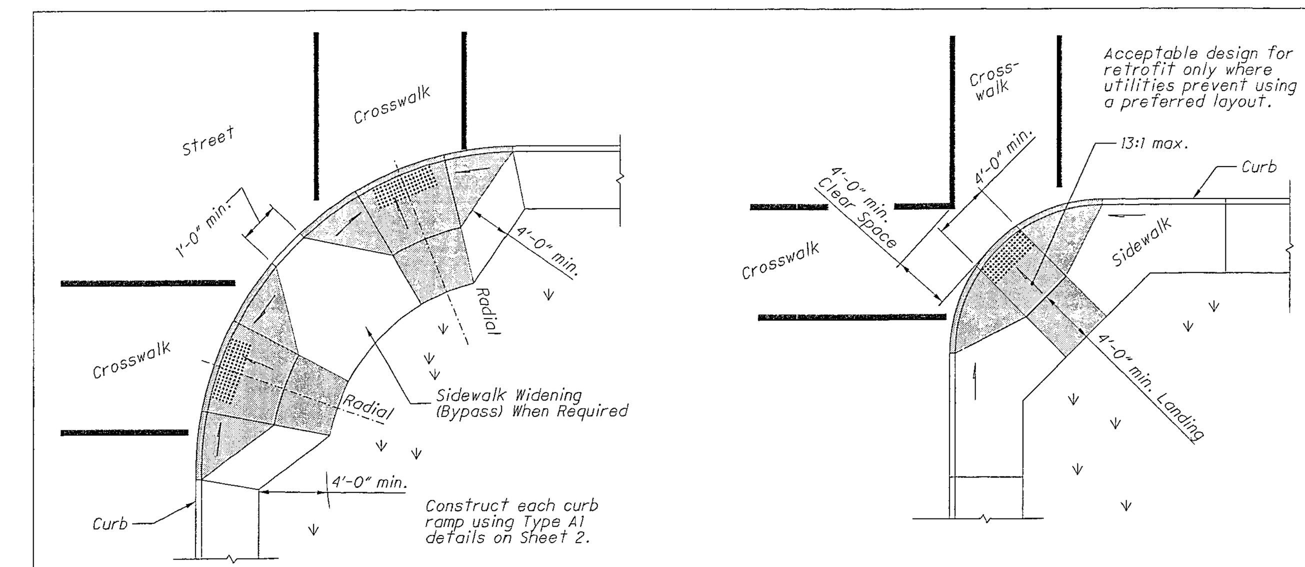
Place on streets having wide turning radius and where sidewalks are narrow.

Curb ramp placement where streets have wide turning radius, and sufficient sidewalks width.

PERPENDICULAR CURB RAMPS PARALLEL CURB RAMPS COMBINATION CURB RAMPS

PREFERRED CONSTRUCTION PLACEMENT





Acceptable design on corners with wide turning radius where user is able to maneuver within crosswalk limits so as not to encroach into adjacent traveled lanes.

Use this design only for existing walks, and when site constraints prohibit other designs. The diagonal Type D ramp may be constructed as either a Perpendicular, Parallel or Combination curb ramp type. Avoid using where curb radii are less than 20'-0".

PERPENDICULAR RAMPS DIAGONAL RAMP (Type D)

ACCEPTABLE CONSTRUCTION PLACEMENT

NOTES

GENERAL: This drawing shows curb ramp types details and placement examples for curb ramp construction, including the installation of detectable warnings.

Curb ramp types are shown on Sheet 2 and include Perpendicular, Parallel, and Combined Types as specified to be constructed in the locations shown on the project plans.

Curb ramps added to an existing intersection or walk should be individually detailed on the project plans to assure that the design is appropriate for site constraints and all items can be constructed to ADA standards. The contractor may adjust the placement of curb ramps if existing field conditions warrant with the approval of the Engineer.

PAYMENT: Measure and pay for the ramp area within the shaded limits of this drawing as Item 608 Curb Ramp, Square Foot. This includes the cost of any curb or curb and gutter, detectable warnings, landing areas and any additional materials, installation, grading, forming, and finishing required within the shaded area.

Work beyond the shaded ramp/landing area is paid for as curb (609) and walk (608). Removal of existing curb, walk (or existing curb ramps) are paid under Item 202.

For at-grade crossing locations where only detectable warnings are required in order to acheive ADA compliance, measure and pay for the strip of detectable warnings as Item 608 Detectable Warning, Square Foot. The work to cast the tiles in place will also require removal of existing pavement (Item 202) to the nearest joint, or if no joint exists, a minimum of 4 feet.

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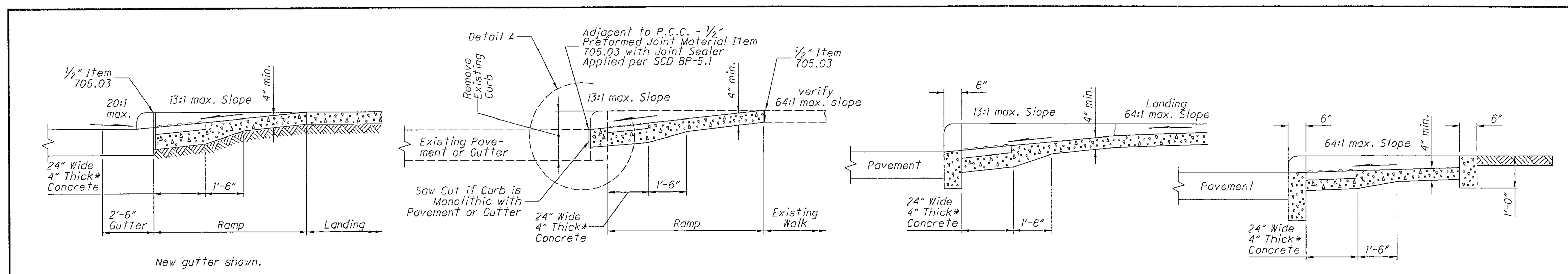


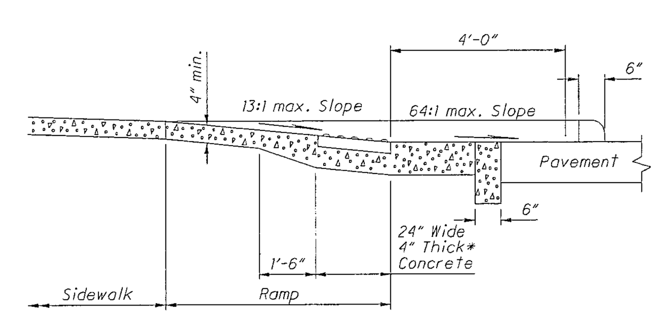
New gutter shown.

SECTION A-A NORMAL DETAIL
See Sheet 2.

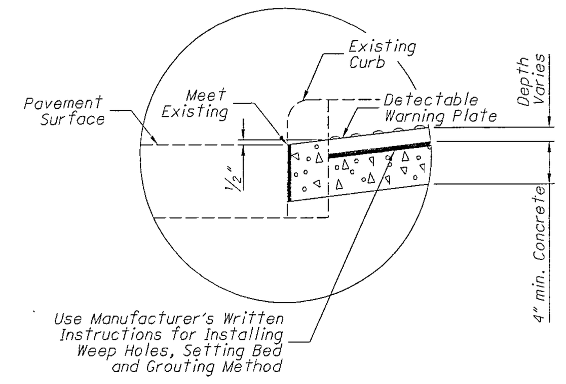
SECTION A-A EXISTING WALK DETAIL
See Sheet 2.

SECTION B-B
See Sheet 2.

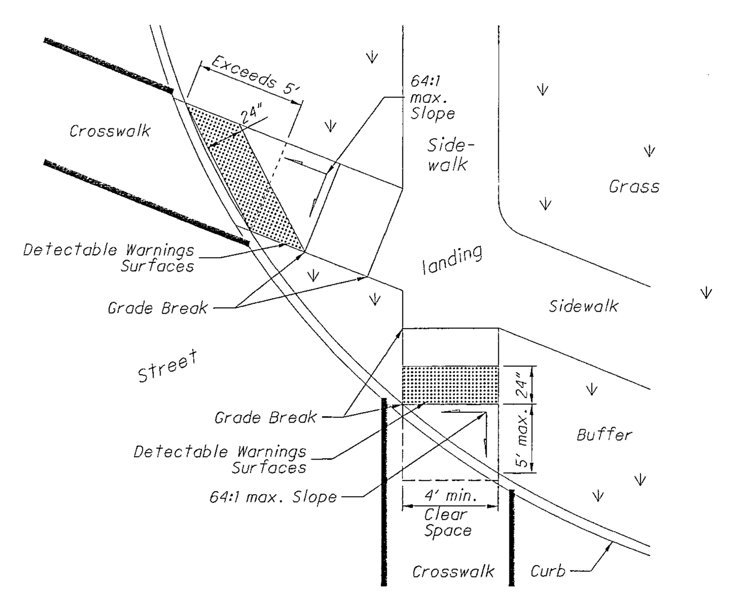
SECTION C-C
See Sheet 2.



SECTION D-D
See Sheet 2.
*Where possible, pour ramp area integral with the curb, otherwise use 6" thick walk.



DETAIL A



DETECTABLE WARNING ALIGNMENT FOR DIRECTIONAL CURB RAMPS

DETECTABLE WARNINGS NOTES

GENERAL: Detectable Warnings are a distinctive surface pattern of truncated domes which are detectable by cane or underfoot to alert people with vision impairments of their approach to streets and hazardous drop-offs.

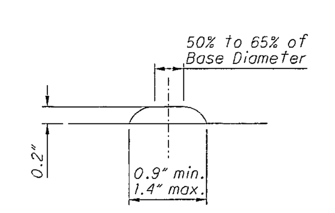
PLACEMENT: Detectable warnings are to be installed at any location where pedestrians might cross paths with vehicular traffic lanes, such as the base of curb ramps or at blended curbs. A 24" strip of domes is to be installed for the full width of the ramp or walk. Typical street corner placement locations are shown on Sheet 1.

Some detectable warning products require a concrete border for proper installation. The concrete border should not exceed 2". Where the back of curb edge is tooled to provide a radius, the border dimension should be measured from the end of the radius.

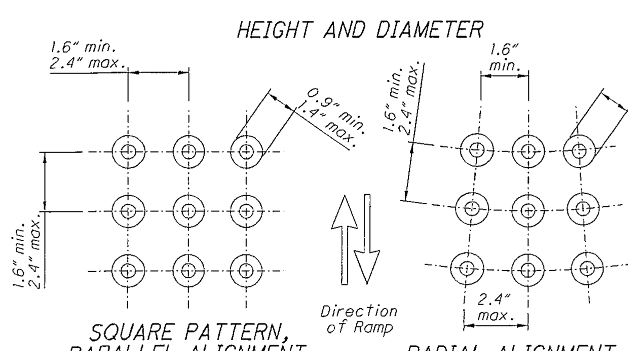
The depth of concrete underneath detectable warning products shall be a minimum of 4". See DETAIL A.

ALIGNMENT: Truncated domes should be aligned with the primary direction of the ramp as shown on the DETECTABLE WARNING ALIGNMENT Detail. Normally the detectable warnings should be flush with the back of the curb, but for skewed conditions see DETECTABLE WARNING ALIGNMENT Detail. For non-standard layouts, detectable warning materials may have to be mitered and placed segmentally.

PRODUCTS & COLORS: Color of the detectable warnings should contrast with surrounding concrete walk and ramp. Black is not an acceptable color. Approved products and guidance on color may be found on the Office of Roadway Engineering Service's Detectable Warnings Approved List. Install products as per manufacturer's printed instructions.

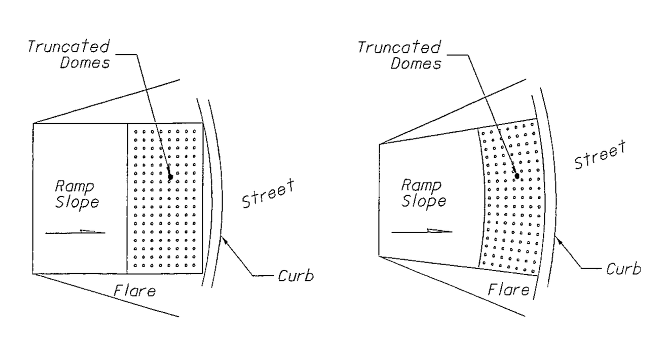


HEIGHT AND DIAMETER



SQUARE PATTERN, PARALLEL ALIGNMENT RADIAL ALIGNMENT

TRUNCATED DOMES DETAILS



DOME ALIGNMENT ON RADIUSED CURB

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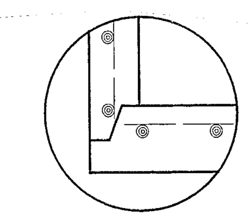
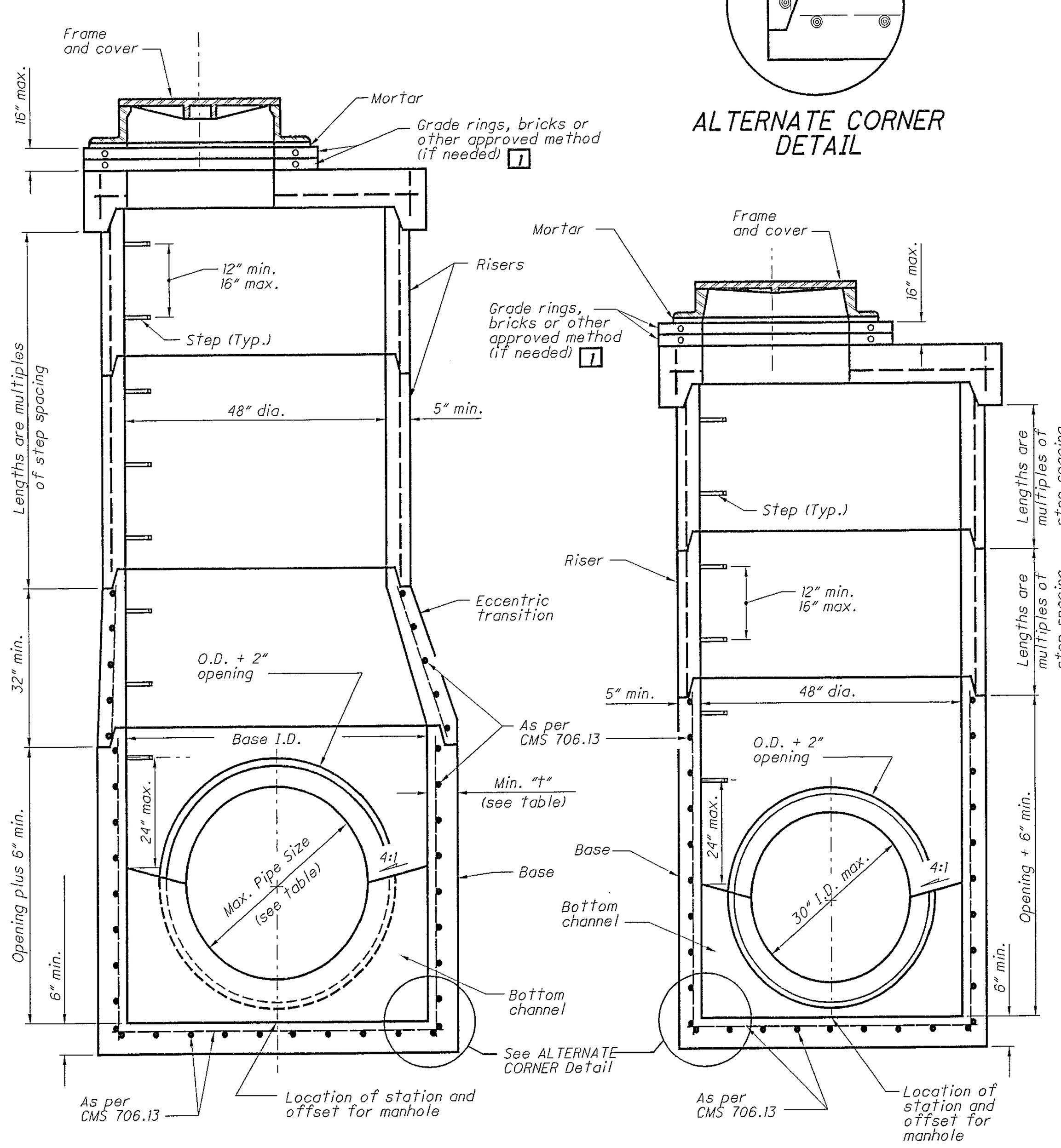


ALTERNATE CORNER DETAIL



60" to 108" PRECAST BASE
SEE TABLE FOR MAXIMUM PIPE SIZES

48" PRECAST BASE
FOR 30" AND SMALLER PIPE

SECTION VIEWS OF REINFORCED PRECAST MANHOLES

NOTES

GENERAL: With normal soil and site conditions, this standard precast manhole may be used for any required manhole depth.

Cast and assemble sections of the precast manhole with either all tongue or all groove ends up. Lift holes may be provided in each section for handling.

Leave handling device for the flat slab in place.

TOP: Provide a flat slab for this section unless an eccentric cone is specified.

TRANSITION (OR REDUCER): This section can be either eccentric cone or flat slab.

BASE: Manhole No. 3 is shown with a monolithic floor and riser which may be cast in one or two operations. A permissible alternate is to cast and ship the floor and barrel separately. Provide openings for inlet and outlet pipes, either when the unit is cast or later, to meet project requirements. Bottom channels may be formed of concrete or precast in the base or field constructed as shown on SCD MH-1 and MH-2.

RISER SECTIONS: Openings for 18" and smaller inlet pipes may be either prefabricated or cut in the field provided the sides of the pipe at the springline do not project into the manhole.

CONNECTIONS: Connections between precast manhole sections and pipes on sanitary sewers may be sealed with resilient connectors conforming to ASTM C 923.

JOINT SEAL: Furnish resilient seal between precast manhole sections on sanitary sewers and flexible gasket joints per CMS 706.11.

OPENINGS: Ensure pipe openings are the O.D. of the pipe being supplied plus 2" when fabricated or field cut. Fill any voids per C&MS 611.

MATERIALS: Provide materials for bases and other precast sections, including reinforcement not specified here, that meet the requirements of CMS 706.13.

DROP PIPE: When specified on the plans, construct drop pipe as shown on SCD MH-2.

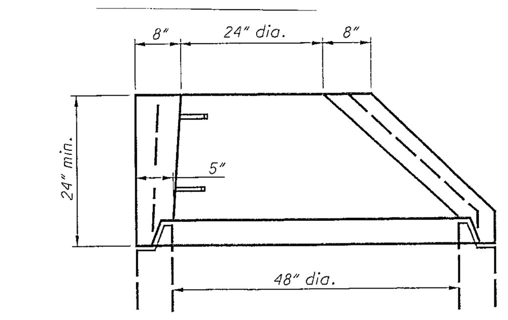
STEPS, FRAMES AND COVERS: Meet the requirements shown on SCD MH-1.

TOP SLAB REBAR: Use epoxy coated reinforcing steel within the top slab.

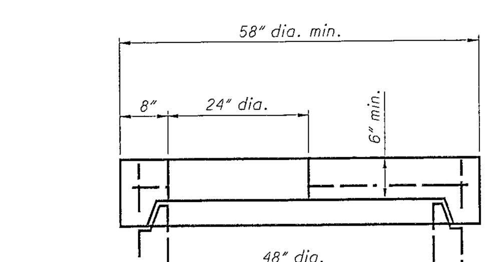
LEGEND

1 Reconstruction to grade only. Approved materials are kept on file by the Office of Materials Management.

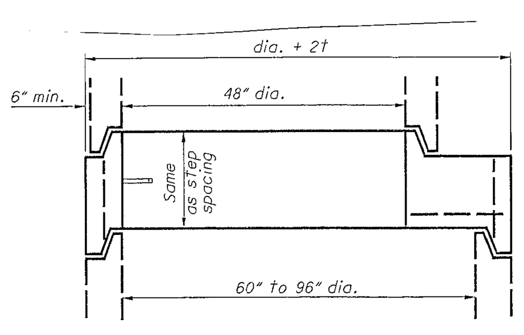
MAXIMUM PIPE SIZES		
BASE I.D.	MIN. "t"	MAX. PIPE SIZE
60"	5"	36"
72"	6"	48"
84"	7"	54"
90"	7½"	60"
96"	8"	66"
108"	9"	72"



ALTERNATE ECCENTRIC CONE TOP
(Only if specified)



FLAT SLAB TOP



FLAT SLAB TRANSITION

DRAWING MH-3 | STANDARD HYDRAULIC CONSTRUCTION DRAWING MANHOLE No. 3 | OFFICE OF HYDRAULICS ENGINEERING | ROADWAY HYDRAULIC ENGINEER M. Cozzoli | REVISIONS 7-19-02 7-15-05 1-20-06 7-20-12 1-18-13 1-15-16 7-16-21 | STATE OF OHIO DEPARTMENT OF TRANSPORTATION HYDRAULIC ENGINEER Jeffery E. Syar

REVISIONS

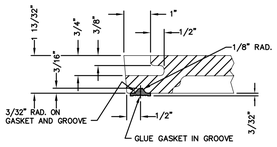
SANDRIDGE RUN R-2 DEVELOPMENT
DETAIL SHEET

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

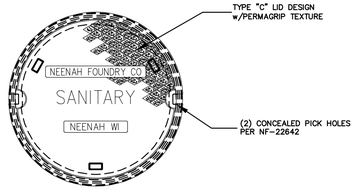
8B/11

MAY 2024

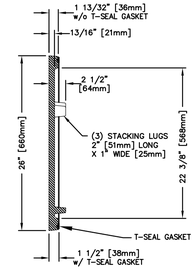
MANHOLE LID (TYPE C) CONCEALED PICK HOLES, T-SEAL GASKET-PERMAGRIP TEXTURED LID



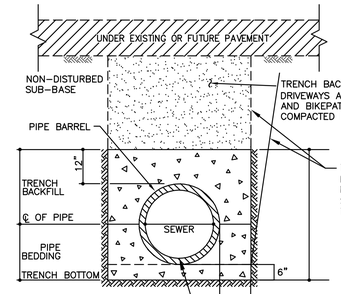
T-SEAL / CONCEALED PICK DETAIL
HALF SCALE
(GASKET NO. 02797)



NOTE: ALL DIMENSIONS SHOWN ARE IN ENGLISH AND [METRIC]
MATERIAL: CAST GRAY IRON ASTM A-48, CLASS 35B
FINISH: AS PER BID SPECIFICATION
WEIGHT: 131#



TRENCH DETAILS



NOTE:
NO BLAST FURNACE SLAG OR CRUSHED CONCRETE SHALL BE USED AS BEDDING OR BACKFILL.

TRENCH BACKFILL WITH #57 LIMESTONE UNDER ALL DRIVEWAYS AND SIDEWALK, AND WITHIN 5' OF PAVEMENT AND BIKEPATH. ALL BACKFILL SHALL BE MECHANICALLY COMPACTED PER BID SPECIFICATION.

TRENCH WALL WIDTH, SLOPE, SUPPORT, PROTECTION, AS PER CONTRACTOR'S METHODS, OPERATIONS AND EXISTING SOIL CONDITIONS (NON-VIRGIN) & TRENCH WATER TABLE.

ALL PIPE BEDDING AND PREMIUM TRENCH BACK FILL SHALL USE #57 LIMESTONE, COMPACTED (MECHANICAL OR VIBRATOR METHOD). ALL PIPE BEDDING SHALL BE PER ASTM D-2321

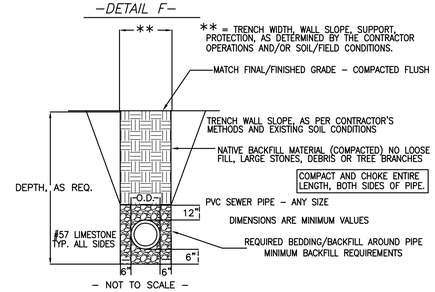
PROPOSED 8", 10" AND 12" PVC, EXISTING SEWER (ANY SIZE,, 6" LATERAL(S), OR STORM SEWER CONDUIT (SIZE VARIES) & LATERAL(S), AS REQUIRED, TYP.

PROVIDE 4" MINIMUM CLEAR DISTANCE FROM THE OUTSIDE EDGE OF ANY PIPE FITTING OR BELL TO TRENCH WALL.

- NOT TO SCALE -

COMPACT AND CHOKE ENTIRE LENGTH, BOTH SIDES OF PIPE.

-DETAIL F-



** = TRENCH WIDTH, WALL SLOPE, SUPPORT, PROTECTION, AS DETERMINED BY THE CONTRACTOR OPERATIONS AND/OR SOIL/FIELD CONDITIONS.

MATCH FINAL/FINISHED GRADE - COMPACTED FLUSH

TRENCH WALL SLOPE, AS PER CONTRACTOR'S METHODS AND EXISTING SOIL CONDITIONS

NATIVE BACKFILL MATERIAL (COMPACTED) NO LOOSE FILL, LARGE STONES, DEBRIS OR TREE BRANCHES

COMPACT AND CHOKE ENTIRE LENGTH, BOTH SIDES OF PIPE.

PVC SEWER PIPE - ANY SIZE

DIMENSIONS ARE MINIMUM VALUES

REQUIRED BEDDING/BACKFILL AROUND PIPE MINIMUM BACKFILL REQUIREMENTS

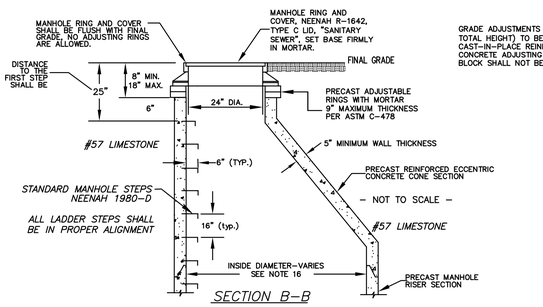
- NOT TO SCALE -

-ELEVATION VIEW, TYPICAL-
SANITARY / STORM SEWER TRENCH BACKFILL & BEDDING DETAIL

THIS DETAIL APPLIES TO OUTSIDE OF PUBLIC RIGHT-OF WAY DOES NOT APPLY TO UNDER ROADS, SIDEWALKS, DRIVEWAYS AND / OR PRIVATE PAVED AREAS.

NOTES:

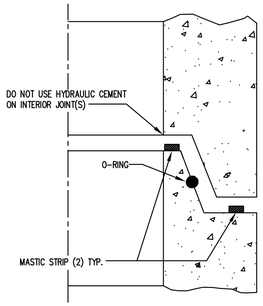
1. ALL PRECAST MANHOLE COMPONENTS SHALL CONFORM TO ASTM C-478, LATEST REVISION, ADDENDUM AND PRINTING, FOR SANITARY SEWER APPLICATIONS.
2. VERTICALLY AND HORIZONTALLY ALIGN MANHOLE RACEWAY WITH ALL OF THE PIPES' INVERTS. CONSTRUCT WATERTIGHT CONNECTION TO MANHOLE WITH FERNCO COUPLERS OR ALMU APPROVED EQUAL.
3. PRECAST MANHOLE SECTIONS, OTHER THAN GRADE RINGS, SHALL BE JOINED WITH FLEXIBLE PLASTIC GASKET MATERIAL SUCH AS "RAM-NEK" OR ALMU APPROVED EQUAL AS PER MANUFACTURER'S RECOMMENDATIONS, AS SHOWN IN DETAIL A.
4. EXCAVATION SHALL BE AS NEARLY VERTICAL AS POSSIBLE (SHEET AND SHORE IF SOIL CONDITIONS REQUIRE), IN EXISTING STREET SECTIONS, ALLEY SECTIONS, PARKING LOTS AND CONFINED AREAS, SUCH AS LIMITED EASEMENTS OR ADJACENT STRUCTURES. EXCAVATION THRU AN EXISTING TRENCH LINE AND EXISTING SANITARY SEWER TO BE REPLACED, DEPENDING UPON PROJECT LOCATION.
5. MANHOLE PRECAST SECTION LENGTHS SHALL BE ARRANGED TO FIT THE REQUIRED DEPTH, AS DETERMINED BY THE SUPPLIER, MINIMIZE NUMBER OF JOINTS.
6. NO SEWER LINE PIPE DIAMETERS OF LESS THAN 8" IN DIAMETER SHALL BE CONNECTED TO THE MANHOLE OR SERVICE LATERALS.
7. MANHOLE BASES SHALL BE PRECAST REINFORCED CONCRETE SET ON 6" MINIMUM THICKNESS OF #57 LIMESTONE, MECHANICALLY COMPACTED.
8. MATCH PIPE INVERTS TO MANHOLE INVERTS WHERE PIPES CONNECT TO MANHOLE BASE.
9. ALL MANHOLES, JOINTS AND CONNECTIONS SHALL BE 100% WATERTIGHT.
10. MANHOLE LIDS SHALL NOT BE LOCATED IN GUTTER PANS, UNLESS OTHERWISE APPROVED BY ALMU, SPECIAL SEALING FEATURES ARE REQUIRED, AS APPROVED BY ALMU.
11. ALL GRADE RINGS SHALL BE PORTLAND CEMENT CONCRETE. PVC GRADE RINGS ARE NOT ALLOWED, ASTM C-478
12. MANHOLE DIAMETER SHALL BE: 4' FOR ALL PIPE 18" INSIDE DIAMETER OR SMALLER AND 5' FOR ALL PIPES 21"-36" INSIDE DIAMETER.
13. IF ANY PIPE IS LARGER THAN 36" INSIDE DIAMETER, A SPECIALLY DESIGNED MANHOLE SHALL BE USED. ALL SPECIAL MANHOLE CONFIGURATIONS SHALL BE APPROVED BY ALMU FIRST.
14. NON-SHRINK GROUT SHALL HAVE THE FOLLOWING CHARACTERISTICS: 3000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD AND SLUMP AT 1 TO 4 INCHES. ALL MATERIAL SHALL CONFORM TO ALMU STANDARDS.
15. REMOVE ALL CONSTRUCTION DEBRIS, SOIL, MUD, RESIDUAL(S) FROM MANHOLE AND PIPES BEFORE CATV.
16. ALL PIPE OPENINGS TO NEW MANHOLES SHALL BE EITHER CAST-IN-PLACE OR PRE-FORMED & PIPE OPENINGS TO EXISTING MANHOLES SHALL BE CORE DRILLED (ENCASEMENT, WALL AND ENTIRE BENCH[AS REQUIRED]).
17. A RESILIENT WATER TIGHT FLEXIBLE CONNECTOR SHALL BE USED TO JOINT INLET AND OUTLET PIPES TO THE MANHOLE SUCH AS PRICE BROTHERS COMPANY KOR-N-SEAL OR ALMU APPROVED EQUAL PER ASTM C-923.
18. DO NOT USE GROUT OR CONCRETE AT RISER'S INTERNAL JOINTS.
19. NO GROUT OR CONCRETE SHALL BE PLACED AROUND THE CONNECTOR ON THE OUTSIDE OF THE MANHOLE, NOR AROUND THE CONNECTOR ON THE INSIDE OF THE MANHOLE, WHERE THE PIPE CONNECTS TO THE MANHOLE BASE. FOR PIPE CONNECTIONS ABOVE THE MANHOLE BASE, NO GROUT OR CONCRETE SHALL BE PLACED AROUND NEITHER THE INSIDE NOR THE OUTSIDE OF THE ENTIRE CIRCUMFERENCE OF THE CONNECTOR.
20. PROVIDE A MINIMUM 0.05 FOOT IN-OUT DROP FOR STRAIGHT RUNS AND 0.1 FOOT IN-OUT DROP FOR ANGLE RUNS.
21. WHEN CONNECTING TO AN EXISTING MANHOLE, PIPE HOLE & INVERT SHALL BE CORED (WALL AND BENCH).
22. MANHOLES WITH A DEPTH FROM TOP OF CASTING TO INVERT WHICH IS LESS THAN OR EQUAL TO 6' SHALL HAVE FLAT TOPS WITH AN ECCENTRIC OPENING.
23. WHEN CONSTRUCTING MANHOLE OVER AN EXISTING MAIN, SUPPORT PIPE(S) WITH CONCRETE BLOCK AND POUR BASE AS SHOWN. REMOVE TOP 1/2 OF MAIN PIPE AND FORM SIDE CHANNEL(S) AS DIRECTED BY ALMU.
24. ALL CHANNELIZATION OF MANHOLE BASES SHALL BE COVERED BY A RIGID MATERIAL DURING CONSTRUCTION OF ROAD SURFACES TO PREVENT FOREIGN MATERIALS FROM ENTERING SYSTEM
25. ALL SANITARY MANHOLES SHALL CONFORM TO OHIO DEPARTMENT of TRANSPORTATION (ODOT) STANDARD MANHOLE 3, LOAD RATING
26. SANITARY CONSTRUCTION SHALL CONFORM TO A.L.R.W. RULES & REGULATIONS SCHEDULE F-II



SECTION B-B

GRADE ADJUSTMENTS (NOT TO EXCEED 9" IN TOTAL HEIGHT) TO BE MADE BY THE USE OF CAST-IN-PLACE REINFORCED PRECAST CONCRETE ADJUSTING COLLARS. BRICK OR BLOCK SHALL NOT BE USED.

PRECAST RISER JOINT - DETAIL A-



7/2015: BITUMASTIC COATING REMOVED FROM DETAIL

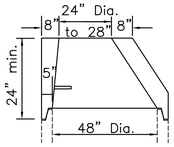
MANHOLE RISER SECTION(S) TONGUE AND GROOVE JOINT (TYP.)

MATING SURFACES SHALL BE CLEAN AND FREE OF VOIDS, PITS, CRACK AND DAMAGE, (TYP.)

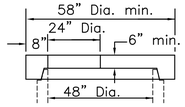
OVERLAP BOTH MASTIC STRIPS BY 1" MINIMUM, TAILS ARE TO BE TIGHT, ORIENTATE MASTIC STRIP JOINTS AT 180° FOR SUCCESSIVE RISER JOINTS.

ALL MANHOLE JOINTS SHALL BE MADE USING A CONTINUOUS FLEXIBLE RUBBER MANHOLE GASKETS & O-RING SEAL PER ASTM C-443.

- DETAIL C- MANHOLE STEPS

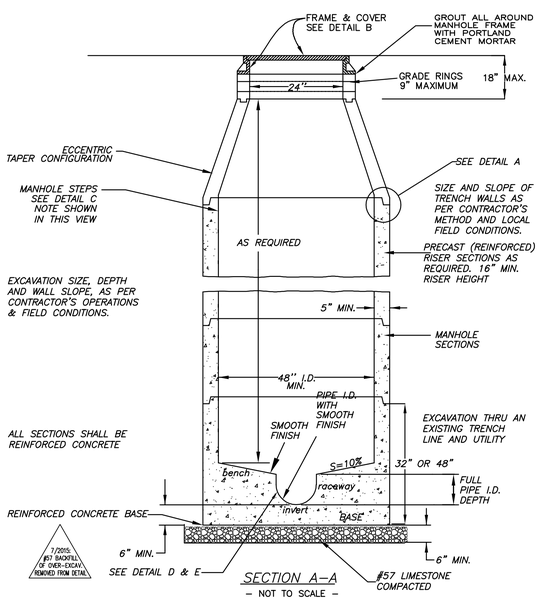


ALTERNATE
ECCENTRIC CONE TOP
- NOT TO SCALE -



FLAT SLAB TOP
- NOT TO SCALE -

NOTE: MANHOLE STEPS NOT SHOWN IN THIS VIEW.

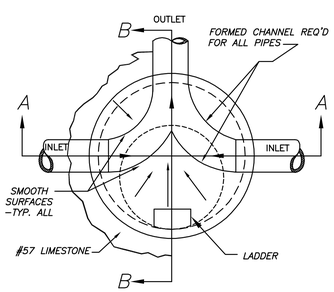


SECTION A-A
- NOT TO SCALE -

STANDARD MANHOLE DETAIL

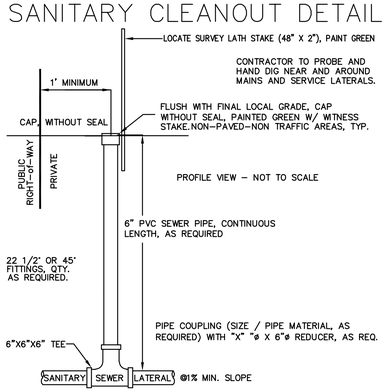
BENCH SHALL BE SLOPED UNIFORMLY TOWARDS NEAREST RACEWAY, TYP., ALL

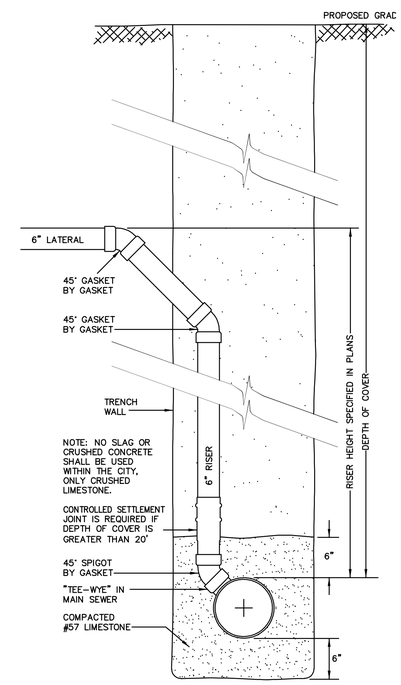
FULL RADIUS BLENDS OF CONNECTING FLOW CHANNELS, TYP., ALL RACEWAY CONFIGURATIONS



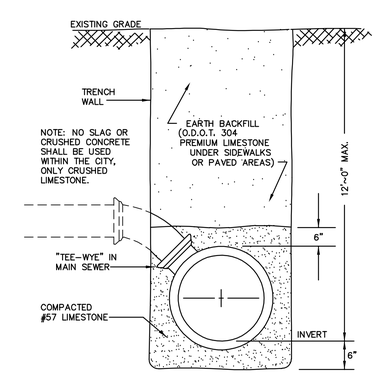
- NOT TO SCALE -

SANITARY CLEANOUT DETAIL





RISER DETAIL
SEWER DEPTH GREATER THAN 12' (NO SCALE)



SANITARY WYE DETAIL

REVISIONS

SANDRIDGE RUN
R-2 DEVELOPMENT
SANITARY DETAIL SHEET

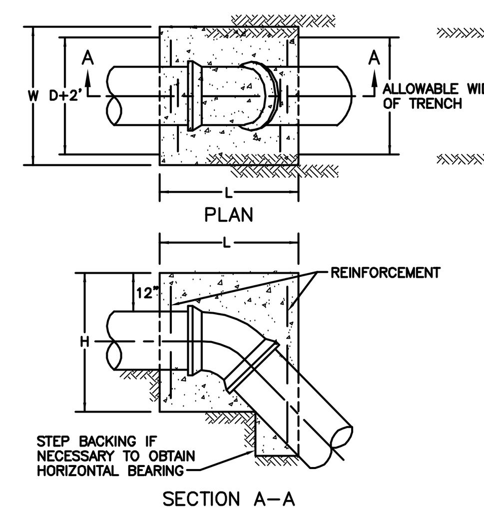
THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

NOVEMBER 2021

L:\Dwgs\K\Sandridge\Sandridge-R2.dwg, 3TS, 1:20

SIZE OF PIPE	DEGREE OF BEND 11 1/4° L"	W"	H"	22 1/2° L"	W"	H"	45° L"	W"	H"
6"	12	48	18	15	43	36	30	55	24
8"	12	63	24	18	57	34	36	57	33
12"	20	56	36	37	62	37	48	62	51
16"	31	65	38	60	65	39	65	65	65
20"	45	70	40	56	70	60	72	77	78
24"	41	76	54	67	74	69	88	84	84

NOTE: ALL FITTINGS SHALL USE MEGA-LUG RESTRAINTS WITH CONCRETE THRUST BLOCKING.

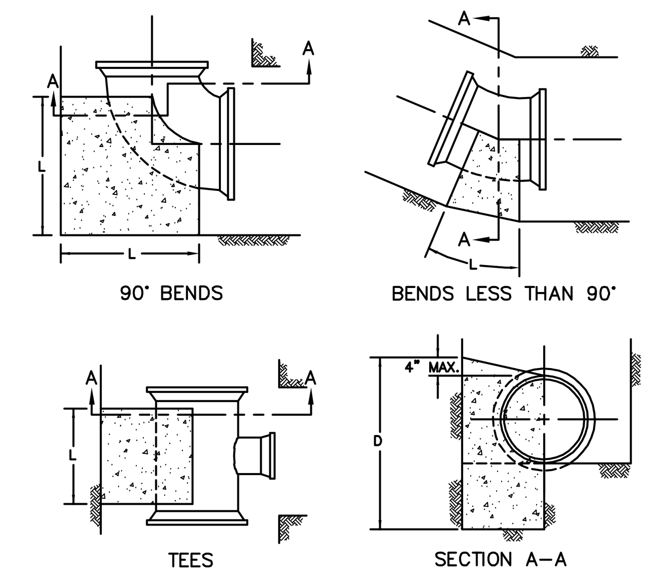


CONCRETE BLOCKING FOR VERTICAL BENDS

SCALE: NONE

1. BACKING DESIGNED FOR 3000 POUNDS PER SQUARE FOOT SOIL BEARING AND 150 POUNDS PER SQUARE INCH INTERNAL PRESSURE.
2. PROVIDE MINIMUM CONCRETE REINFORCEMENT OF 2 PAIR OF TWO #5 "U" BARS AT 12" C/C.
3. CENTER BACKING ON BEND.
4. THESE SAME DIMENSIONS WILL BE USED FOR SHORT BODY FITTINGS.

SIZE OF PIPE	11 1/4° L"	D"	22 1/2° L"	D"	45° L"	D"	90° L"	D"	RUN	BRANCH 6" L"	D"	8" L"	D"	12" L"	D"	16" L"	D"	20" L"	D"	24" L"	D"
6"	12	6	12	8	20	12	18	13	6"	18	13										
8"	12	9	16	16	24	13	25	18	8"	18	13	23	18								
12"	15	13	22	18	36	30	32	30	12"	18	13	23	18	38	24						
16"	18	21	32	27	36	39	41	39	16"	14	16	20	20	36	25	49	32				
20"	25	24	30	32	49	45	50	50	20"	11	21	18	22	35	26	46	34	60	42		
24"	27	30	39	42	60	54	58	61	24"	9	25	15	27	30	30	42	38	54	46	68	52
30"							88	93	30"									50	52	64	59
36"					82	77	105	111	36"											60	63



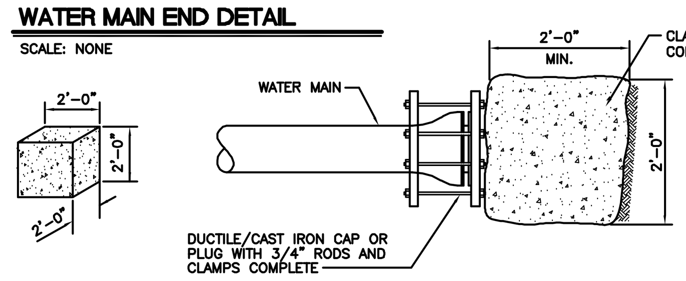
CONCRETE BLOCKING FOR HORIZONTAL BENDS AND TEES

SCALE: NONE

1. BLOCKING DESIGNED FOR 3000 POUNDS PER SQUARE FOOT SOIL BEARING AND 150 POUNDS PER SQUARE INCH INTERNAL PRESSURE.
2. PROVIDE CONCRETE REINFORCEMENT AS DIRECTED BY THE ENGINEER.
3. THESE SAME DIMENSIONS WILL BE USED FOR SHORT BODY FITTINGS.

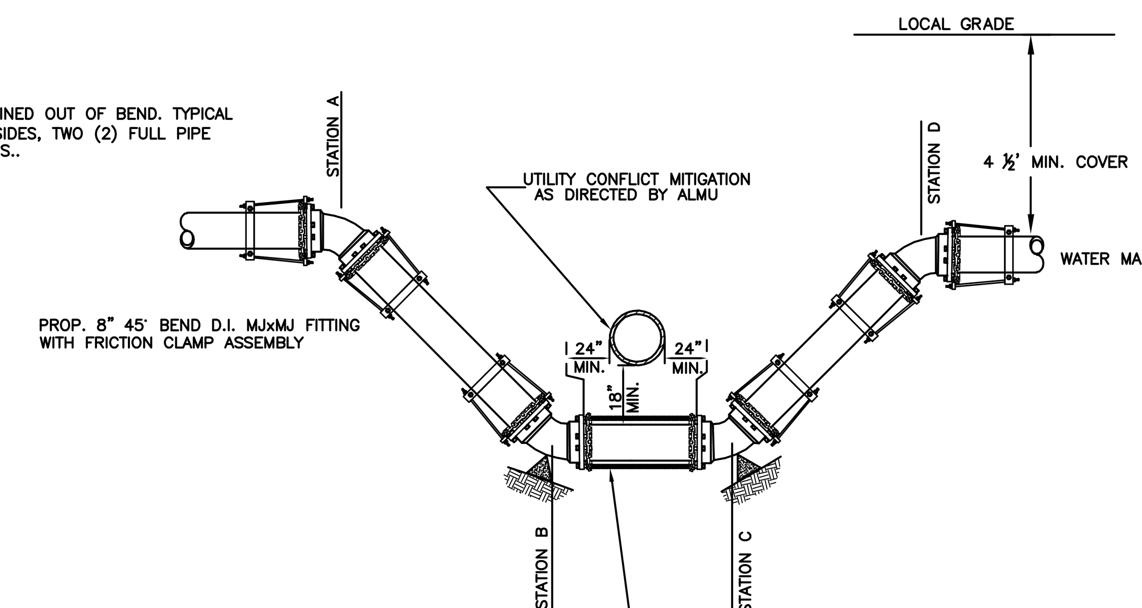
WATER MAIN END DETAIL

SCALE: NONE



DETAIL FOR TYPICAL OFFSET BENDS FOR CULVERTS, UTILITY AND SEWERS CROSSINGS

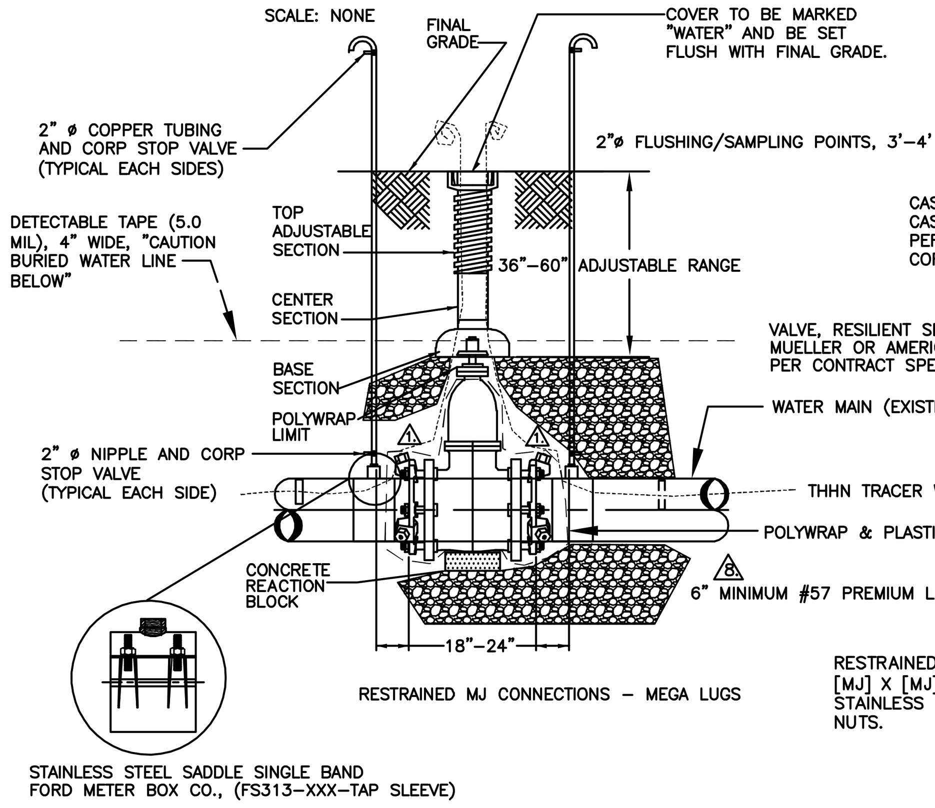
SCALE: NONE TO BE USED AS DIRECTED BY ALRW OR AS INDICATED



NOTE:
ENTIRE OFFSET INCLUDING BENDS TO BE BUILT WITH DUCTILE IRON RESTRAINED MECHANICAL JOINT, MEGA LUGS WITH STAINLESS STEEL BOLTS, TYP. ALL

REPLACEMENT SECTION, TIE-IN OR MAIN EXTENSION DETAIL OF CAST IRON LINE VALVE + BOX

SCALE: NONE



SAMPLE + FLUSH POINTS

WATERLINE MATERIAL SPECIFICATIONS

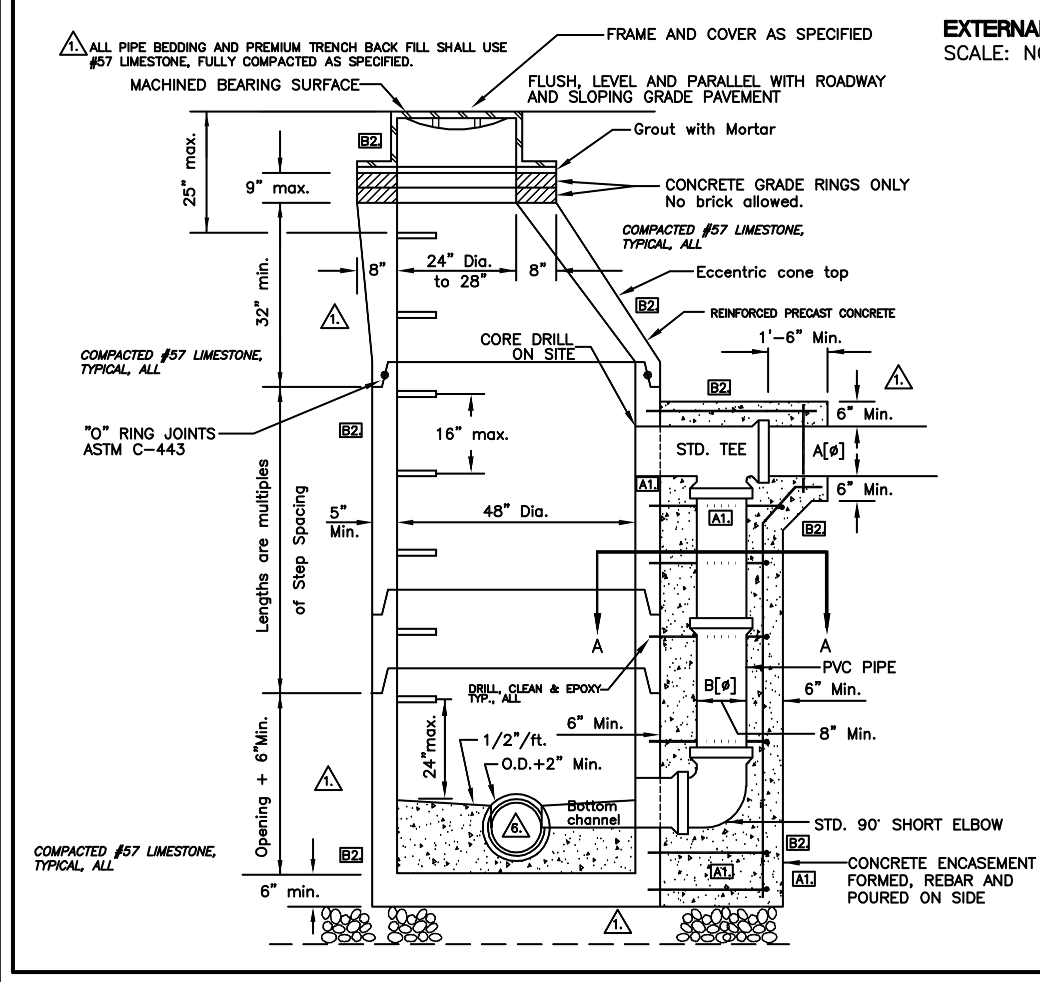
1. ALL WATER MAIN PIPE SHALL BE C909 (PVCO) PER ANSI/AWWA C909-09, CLASS 150, (CIOD). NSF-61 CERTIFIED.
2. THE PROPOSED WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-10 OR LATEST REVISION.
3. ALL PUSH-ON AND MECHANICAL JOINTS SHALL CONFORM TO ANSI/AWWA C111/A21.11-12
4. ALL POLYETHYLENE ENCASEMENTS SHALL CONFORM TO ANSI/AWWA C105/A21.5-10.
5. ALL DISINFECTION MEANS AND METHODS SHALL CONFORM TO ANSI/AWWA C651-05 OR THE LATEST REVISION.
6. THERE SHALL BE A MINIMUM OF FOUR (4) FEET – SIX (6) INCHES OF VERTICAL COVER AS MEASURED FROM THE THE TOP OF THE PROPOSED WATERLINE TO FINAL GRADE.
7. ALL EXISTING WATER MAIN VALVES AND FIRE HYDRANTS SHALL BE OPENED BY AVON LAKE REGIONAL WATER PERSONAL ONLY. THE CONTRACTOR SHALL NOTIFY AVON LAKE MUNICIPAL UTILITIES A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO REQUEST THE OPENING OF SAID VALVES AND FIRE HYDRANTS BY CALLING (440) 933-6226.
8. THE CONTRACTOR SHALL UTILIZE NO. 57 LIMESTONE FOR ALL PIPE BEDDING, CHOKED (BOTH SIDES), AND CONSOLIDATED TO PROPERLY SUPPORT THE WATER LINE.
9. INSTALLATION OF ALL JOINTS, FITTINGS, SPECIALS, CLOSURE, COUPLING(S), APPURTENANCES, SLEEVES, TIE RODS, ANCHOR TEES, JOINTING AND GASKETING MATERIAL, REQUIRED TO COMPLETE THE WATER LINE INSTALLATION SHALL BE CONSIDERED INCIDENTAL AND INCLUDED IN THE UNIT BID PRICES.
10. 2" NIPPLE, CORP STOP VALVE AND SADDLE SHALL BE 2' FROM END OF PIPE.

WATERLINE TESTING REQUIREMENTS

1. THE DISINFECTION POINTS SHALL BE LEFT EXPOSED DURING BACKFILLING UNTIL BACTERIA TESTING, PRESSURE TESTING, AND BACTERIA CHECK TESTING IS COMPLETED AND APPROVED BY AVON LAKE REGIONAL WATER (ALRW). COUPLING AND CORPORATION STOPS SHALL BE LEFT IN PLACE ON THE WATER MAIN WITH ONE (1) FOOT EXTENSION OF THE TWO (2) INCH COPPER TUBING CRIMPED AND FOLDED TWICE OVER AND HAMMER FLATTEN.
2. THE CONTRACTOR SHALL GIVE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE PRIOR TO EACH TASK REQUIRED FOR THE INSTALLATION & TESTING OF THE WATER LINE. THE CONTRACTOR SHALL COORDINATE ALL WATER LINE WORK WITH ALRW.
3. THE CONTRACTOR SHALL INSTALL, CUT-IN THE PROPOSED RESILIENT WEDGE GATE VALVES WITH THE TWO (2) INCH COPPER FLUSH FITTINGS FIRST, PRIOR TO REMOVING THE EXISTING WATER MAIN AT ALL TIE-IN POINTS.
4. ALL PIPES, VALVES, AND APPURTENANCES SHALL BE THOROUGHLY DISINFECTED WITH 60% HTH SOLUTION BY SWABBING UNDER THE DIRECT SUPERVISION OF ALRW.
5. ALL WORK SHALL COMPLY WITH RECOMMENDED STANDARDS FOR WATERWORKS, 2012 STANDARD, AWWA, ANSI, OHIOEPA AND AVON LAKE REGIONAL WATER.

EXTERNAL DROP ON EXISTING MANHOLE

SCALE: NONE

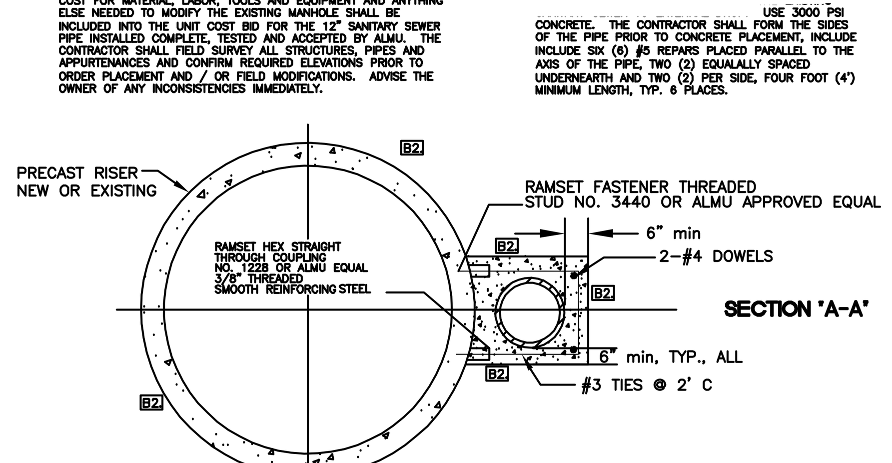


A1. CONTRACTOR SHALL MEASURE AND VERIFY THE REQUIRED INVERT ELEVATION OF THE EXISTING SEWER PRIOR TO CORE DRILLING THE PROPOSED OR EXISTING PRECAST CONCRETE MANHOLE AND PLACEMENT OF THE CONCRETE ENCASEMENT FOR THE EXTERNAL DROP AND LENGTH OF C-900 PVC SPLICE SEGMENT. USE 4000 PSI HIGH EARLY, ALLOW 4-6 HOURS CURING PRIOR TO BACK FILLING.

IF THE EXISTING MANHOLE IS TO HAVE AN INTERNAL DROP REMOVED AND AN EXTERNAL DROP INSTALLED, THE CONTRACTOR SHALL REMOVE THE ENTIRE INTERNAL DROP STRUCTURE, THE EXISTING PRECAST RISER SECTION WITH THE PIPE OPENING BEING DOWN SIZED AND REPLACE WITH A NEW PRECAST RISER SECTION WITH THE APPROPRIATE SIZED OPENING FOR THE DROP CLEAN OUT. RE-ASSEMBLE THE MANHOLE STRUCTURE PER THE MANHOLE DETAILS SHOWN WITHIN THIS PLAN SET AND REQUIREMENTS SET FORTH IN THE BID SPECIFICATIONS.

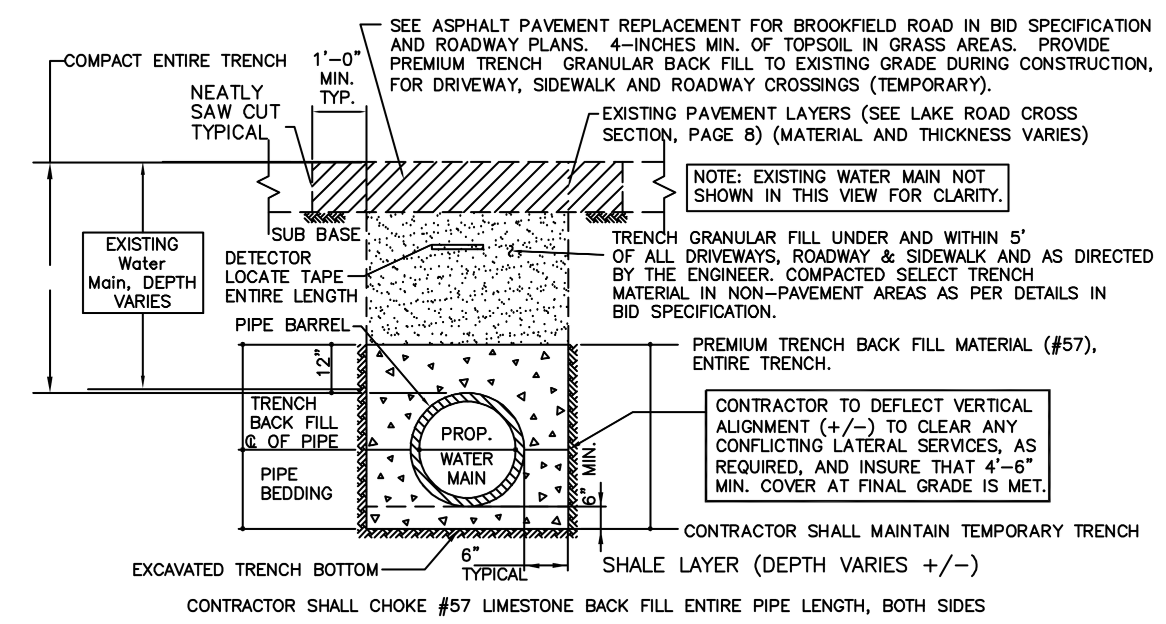
COST FOR MATERIAL, LABOR, TOOLS AND EQUIPMENT AND ANYTHING ELSE NEEDED TO MODIFY THE EXISTING MANHOLE SHALL BE INCLUDED INTO THE UNIT COST BID FOR THE 12" SANITARY SEWER PIPE INSTALLED COMPLETE, TESTED AND ACCEPTED BY ALMU. THE CONTRACTOR SHALL FIELD SURVEY ALL STRUCTURES, PIPES AND APPURTENANCES AND CONFIRM REQUIRED ELEVATIONS PRIOR TO ORDER PLACEMENT AND / OR FIELD MODIFICATIONS. ADVISE THE OWNER OF ANY INCONSISTENCIES IMMEDIATELY.

USE 3000 PSI CONCRETE. THE CONTRACTOR SHALL FORM THE SIDES OF THE PIPE PRIOR TO CONCRETE PLACEMENT, INCLUDE INCLUDE SIX (6) #5 REPARS PLACED PARALLEL TO THE AXIS OF THE PIPE, TWO (2) EQUALALLY SPACED UNDERNEARTH AND TWO (2) PER SIDE, FOUR FOOT (4') MINIMUM LENGTH, TYP. 6 PLACES.



SECTION "A-A"

B2 ENTIRE MAN HOLE AND CONCRETE ENCASED DROP STRUCTURE SHALL BE WATER PROOFED WITH COAL TAR EPOXY, TYP. ALL EXPOSED – EXTERNAL SURFACES, PRIOR TO BACK FILL OPERATIONS.



WATER MAIN PIPE INSTALLATION-TRENCH DETAIL

SCALE: NONE

NOTE:
NO BLAST FURNACE SLAG OR CRUSHED CONCRETE SHALL BE USED AS BEDDING OR BACK FILL ON THIS PROJECT.

PROVIDE 4" MINIMUM CLEAR DISTANCE FROM THE OUTSIDE EDGE OF ANY PIPE FITTING OR BELL TO TRENCH WALL.

BELOW CURRENT ROADWAY OR SIDEWALK GRADE, BACK FILL WITH #57 OR #304, PLACE AND MAINTAIN ASPHALT COLD PATCH COVER FOR TEMP. SERVICE DURATION.

WATER MAINS CONTINUED:

1. ALL REQUIRED WATER WORK INCLUDING MATERIALS, LABOR, EQUIPMENT AND PERMITS, WHETHER INDICATED ON THESE PLANS, FOUND IN THE BID SPECIFICATION AND CONTRACT DOCUMENTS, BASED UPON THE CONTRACTORS FIELD SITE INSPECTION, SHALL BE INCLUDED IN THE UNIT COST OF WATER MAIN INSTALLED COMPLETE AND ACCEPTED.
2. THE FIELD LOCATION OF THE EXISTING WATER MAIN, LATERAL SERVICE CONNECTIONS AND ALL OTHER UNDERGROUND UTILITIES WITHIN THE PROJECT WORK LIMITS ARE BASED UPON RECORD DRAWING(S) THAT HAVE BEEN PREPARED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ALRW ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE RECORD DRAWINGS OR FOR ANY ERRORS AND/OR OMISSIONS THAT MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCORRECT INFORMATION PROVIDED TO THE DEPARTMENT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT FIELD VERIFICATION OF ITS ACCURACY. NO REPRESENTATION OR GUARANTEE OF ACCURACY ARE GRANTED OR MADE, NOR IS ANY RESPONSIBILITY FOR RELIANCE THEREON ASSUMED. IN NO EVENT SHALL ALRW BE LIABLE FOR DIRECT, INDIRECT, INCIDENTAL, CONSEQUENTIAL, OR SPECIAL DAMAGES OF ANY KIND, INCLUDING, BUT NOT LIMITED TO, LOSS OF ANTICIPATED PROFITS OR BENEFITS ARISING OUT OF OR RELIANCE ON SAID INFORMATION.
3. CALL MANAGER OF DISTRIBUTION AND COLLECTION (8 AM-4:30 PM) AT 440-933-6226 X 216 TO SCHEDULE ALL FIELD ACTIVITIES. THE OPERATION OF ANY VALVE OR ALTERATION OF ANY PART OF THE WATER SYSTEM BY CONTRACTORS OR THEIR EMPLOYEES IS PROHIBITED WITHOUT THE SUPERVISION OF ALRW FIELD REPRESENTATIVE.
4. THE CONTRACTOR SHALL BE REQUIRED TO FURNISH ACTUAL FIELD MEASUREMENTS OF THE WATER MAIN DURING INSTALLATION INCLUDING DEPTH FROM GRADE TO TOP OF PIPE, LOCATION OF CORPORATIONS, INSTALLED LENGTHS AND CHANGE IN ALIGNMENTS. THE FORM SHALL BE IN A NEAT AND CLEAR MARKUP IN RED INK ON A FULL SIZE SET OF PROJECT PLANS.
5. THE CONTRACTOR SHALL SCHEDULE ALL FLUSHING, BACTERIA TESTING, PRESSURE TESTING AND BACTERIA CHECK SAMPLE TESTING WITH ALRW AND REQUIRES A TWO (2) DAY MINIMUM NOTICE. THE COSTS FOR LABOR, MATERIAL AND EQUIPMENT TO SUCCESSFULLY ACCOMPLISH THE TESTS SHALL BE INCIDENTAL TO THE UNIT BID COSTS OF THE 8"ø WATER MAIN COMPLETELY INSTALLED AND ACCEPTED BY ALRW.
6. A ONE (1) YEAR WARRANTY, COMMENCING FROM ACCEPTANCE OF THE WATER MAIN AND DATE OF PLACEMENT INTO SERVICE, SHALL BE PROVIDED BY THE CONTRACTOR TO ALRW FOR THE WATER MAIN, SERVICE CONNECTION AND APPURTENANCES FOR WORK PERFORMED BY THE CONTRACTOR SHOULD ANY LEAKS, COMPONENT FAILURE OR BLOCKAGE. AND ALL REPAIRS THAT ARE REQUIRED DUE TO DEFECTIVE MATERIAL OR POOR WORKMANSHIP.
7. USE BACK FILL MATERIAL AS SPECIFIED AND COMPACT SUFFICIENTLY IN THOSE AREAS WHERE EXISTING MAINS AND WATER SERVICE CONNECTIONS ARE EXPOSED.
8. THE MATERIALS, COMPONENTS, WATER MAIN AND APPURTENANCES THEREOF SHALL CONFORM TO AND BE INSTALLED TO THE LATEST REVISION, VERSION OR EDITION OF AWWA, ASCE, OEPA, OHIO DEPARTMENT OF TRANSPORTATION AND THE STANDARDS OF AVON LAKE MUNICIPAL UTILITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING WATER MAIN AND APPURTENANCES THEREOF WHEN CONNECTING THE NEW WATER MAIN FOR THE HYDROSTATIC TEST. ALL REPAIRS TO DAMAGED EXISTING FACILITIES SHALL BE MADE BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF ALRW.
10. THE CONTRACTOR SHALL EXPECT NUMEROUS LOCATIONS ALONG THE EXISTING WATER MAIN WHERE PREVIOUS REPAIRS HAVE BEEN MADE TO THE MAIN BY ALRW. THEREFORE NON-VIRGIN SOIL CONDITIONS, TRENCH WATER AND AGGREGATE BACK FILL CAN BE EXPECTED.
11. WATER MAIN CONSTRUCTION SHALL CONFORM TO ALRW RULES & REGULATIONS SCHEDULE F-I

REQUIRED WATER LINE CLEARANCES:

A MINIMUM 4 FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE STORM SEWER SHALL BE MAINTAINED.

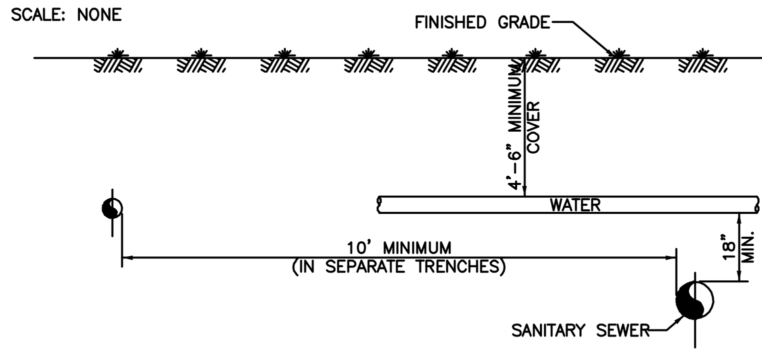
A MINIMUM 10 FOOT HORIZONTAL SEPARATION (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE SANITARY SEWER SHALL BE MAINTAINED.

A MINIMUM 12" VERTICAL CLEARANCE (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE STORM SEWER SHALL BE MAINTAINED.

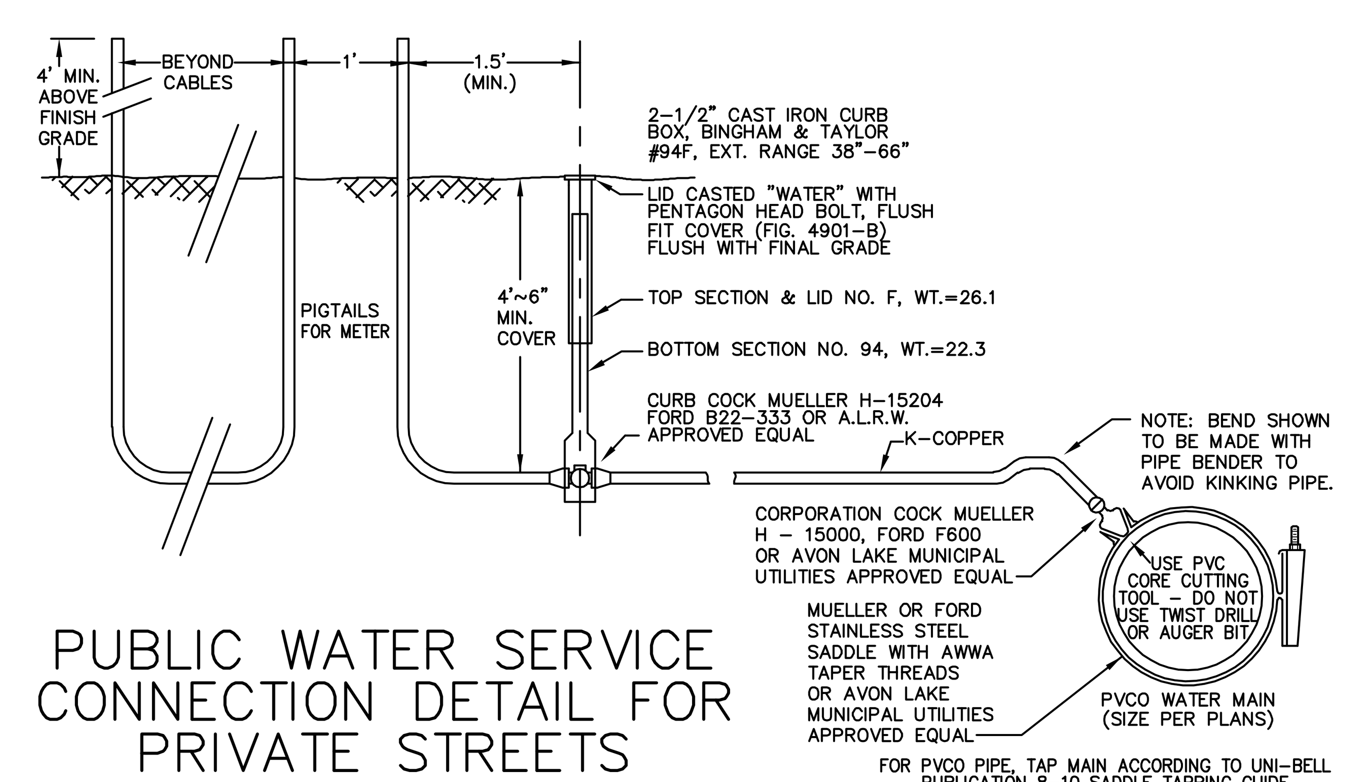
A MINIMUM 18" VERTICAL CLEARANCE (MEASURED OUT-TO-OUT) CLEAR BETWEEN THE PROPOSED WATER LINE AND THE SANITARY SEWER SHALL BE MAINTAINED.

CROSS OVER DETAIL

SCALE: NONE



NOTE:
1. WATER MAINS AND SANITARY SEWER LINES OR FORCE MAINS SHALL BE SEPARATED BY MINIMUM CLEAR VERTICAL DISTANCE OR 18" AND HORIZONTAL DISTANCE OR 10'-0". WHEN THE ABOVE CAN NOT BE MAINTAINED, SEWER LINE SHALL BE CONCRETE ENCASED OR CLASS 52 D.I.P. USED A DISTANCE OR 10'-0" EACH WAY FROM WATER LINE.



PUBLIC WATER SERVICE CONNECTION DETAIL FOR PRIVATE STREETS
(NO SCALE)

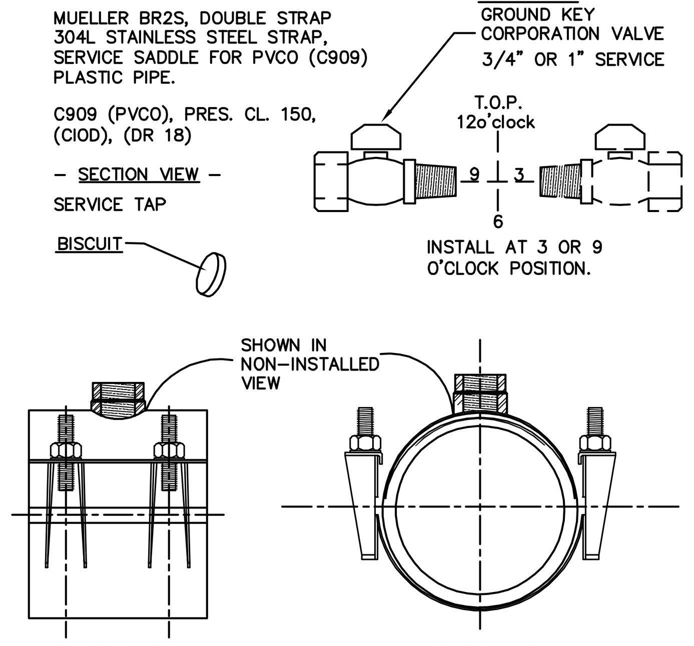
FOR PVCO PIPE, TAP MAIN ACCORDING TO UNI-BELL PUBLICATION B-10 SADDLE TAPPING GUIDE – DO NOT USE A POWERED DRILL –

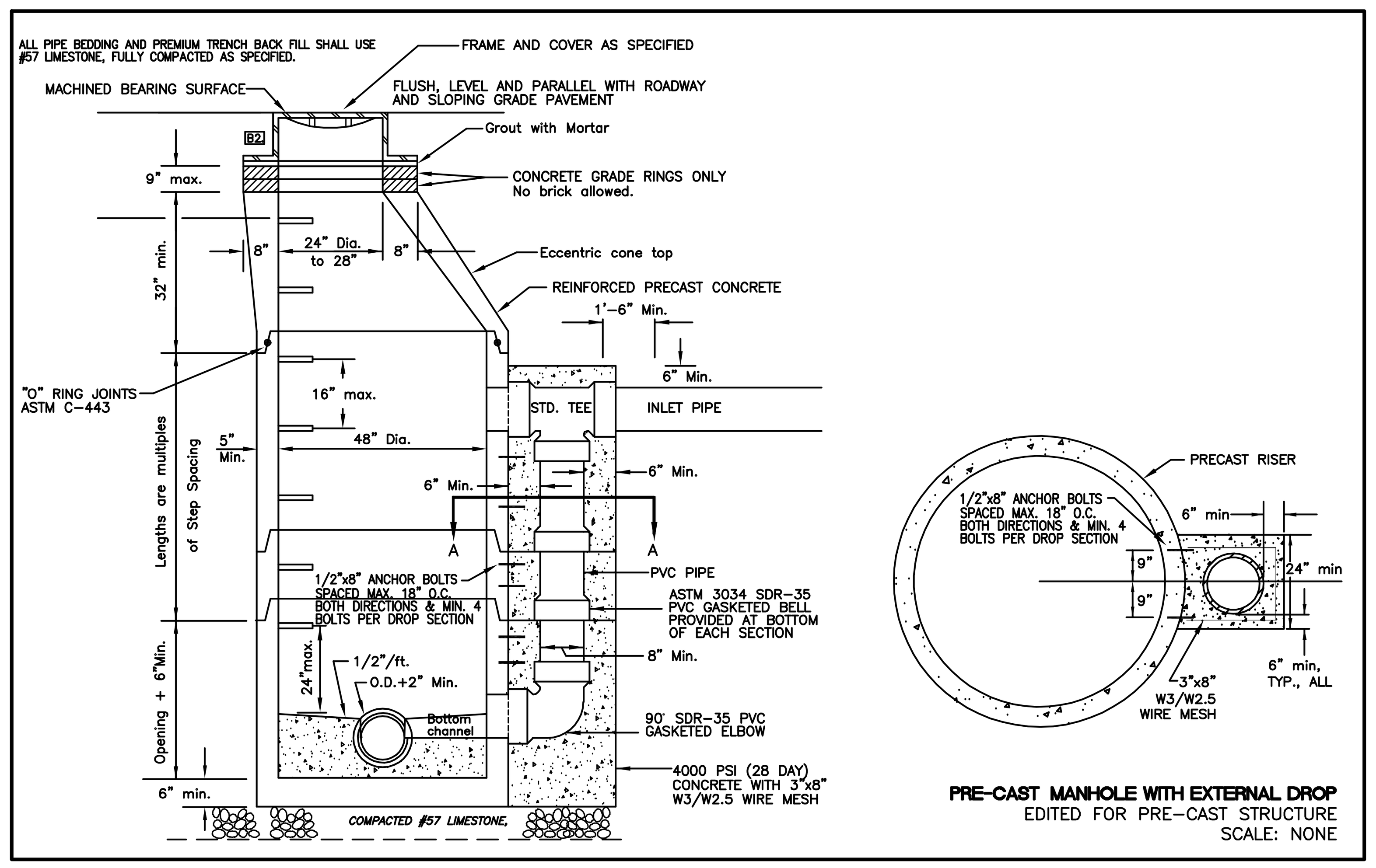
STAINLESS STEEL SADDLE - DOUBLE BAND

SCALE: NONE

MUELLER BR2S, DOUBLE STRAP 304L STAINLESS STEEL STRAP, SERVICE SADDLE FOR PVCO (C909) PLASTIC PIPE.

C909 (PVCO), PRES. CL. 150, (CIOD), (DR 18)





PRE-CAST MANHOLE WITH EXTERNAL DROP

EDITED FOR PRE-CAST STRUCTURE
SCALE: NONE

REVISIONS		

SANDRIDGE RUN R-2 DEVELOPMENT
SAN. & WATER DETAIL SHEET

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251-3033, REITZ@REITZENG.COM

NOVEMBER 2021

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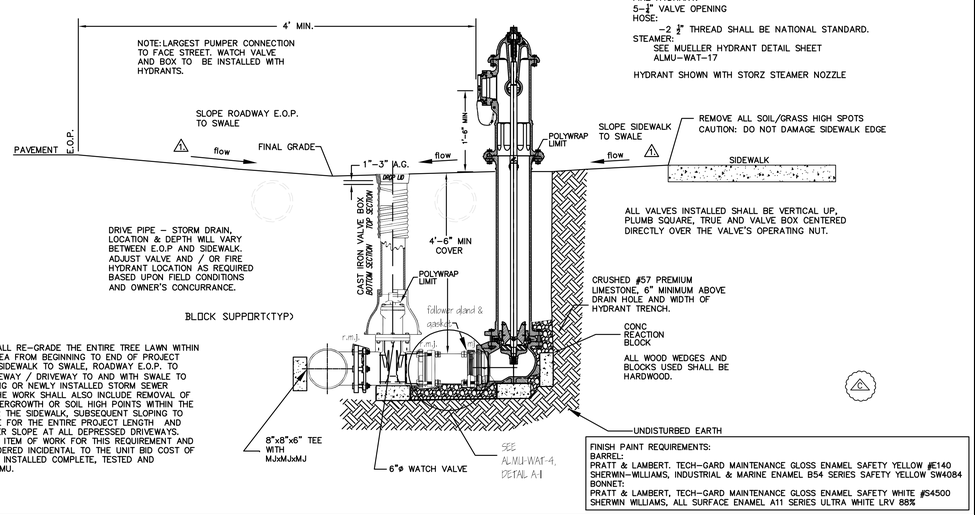
TYPICAL 6' FIRE HYDRANT ASSEMBLY DETAIL

SCALE: NONE



MUELLER CENTURION A-423 WITH (2) 2 1/2" HOSE NOZZLES + (1)-5 1/4"STORZ PORT STEAMER NOZZLE.

FIRE HYDRANT:
5-1/4" VALVE OPENING
HOSE:
–2 1/2" THREAD SHALL BE NATIONAL STANDARD.
STEAMER:
SEE MUELLER HYDRANT DETAIL SHEET ALMU–WAT–17

HYDRANT SHOWN WITH STORZ STEAMER NOZZLE

CONTRACTOR SHALL RE–GRADE THE ENTIRE TREE LAWN WITHIN THE PROJECT AREA FROM BEGINNING TO END OF PROJECT LIMITS, SLOPING SIDEWALK TO SWALE, ROADWAY E.O.P. TO SWALE AND DRIVEWAY / DRIVEWAY TO AND WITH SWALE TO DRAIN TO EXISTING OR NEWLY INSTALLED STORM SEWER STRUCTURES. THE WORK SHALL ALSO INCLUDE REMOVAL OF ANY EXISTING OVERGROWTH OR SOIL HIGH POINTS WITHIN THE TREE LAWN NEAR THE SIDEWALK, SUBSEQUENT SLOPING TO SWALE, SHALL BE FOR THE ENTIRE PROJECT LENGTH AND GRADE TO PROPER SLOPE AT ALL DEPRESSED DRIVEWAYS. THERE IS NO BID ITEM OF WORK FOR THIS REQUIREMENT AND SHALL BE CONSIDERED INCIDENTAL TO THE UNIT BID COST OF THE WATER MAIN INSTALLED COMPLETE, TESTED AND ACCEPTED BY ALMU.

FINISH PAINT REQUIREMENTS:
BARREL:
PRATT & LAMBERT. TECH–GARD MAINTENANCE GLOSS ENAMEL SAFETY YELLOW #E140
SHERWIN–WILLIAMS, INDUSTRIAL & MARINE ENAMEL B54 SERIES SAFETY YELLOW SW4084
BONNET:
PRATT & LAMBERT, TECH–GARD MAINTENANCE GLOSS ENAMEL SAFETY WHITE #S4500
SHERWIN WILLIAMS, ALL SURFACE ENAMEL A11 SERIES ULTRA WHITE LRV 88%

COST FOR CLOSURE COUPLING(S) – SOLID SLEEVE ADAPTORS, MEGA–LUGS, STAINLESS STEEL BOLTS, GASKETS, LABOR, TOOLS, EQUIPMENT AND MATERIAL TO SUCCESSFULLY COMPLETE CONNECTIONS SHALL BE INCIDENTAL TO THE UNIT COST BID FOR THE WATER MAIN INSTALLED COMPLETE, TESTED AND ACCEPTED BY A.L.M.U.

18" NIPPLE WITH MJ CONNECTIONS. MECHANICAL JOINTS AND WATCH VALVE TO HAVE ALL BOLTED JOINTS COATED WITH BITUMASTIC MATERIAL AND TIGHTLY WRAPPED WITH TWO (2) LAYERS OF POLYETHYLENE PLASTIC.

FINISH PAINT REQUIREMENTS:
BARREL:
PRATT & LAMBERT. TECH–GARD MAINTENANCE GLOSS ENAMEL SAFETY YELLOW #E140
SHERWIN–WILLIAMS, INDUSTRIAL & MARINE ENAMEL B54 SERIES SAFETY YELLOW SW4084
BONNET:
PRATT & LAMBERT, TECH–GARD MAINTENANCE GLOSS ENAMEL SAFETY WHITE #S4500
SHERWIN WILLIAMS, ALL SURFACE ENAMEL A11 SERIES ULTRA WHITE LRV 88%

ALL NEW WATER LINE BENDS SHALL BE RESTRAINED MECHANICAL JOINT [MJ] – (MEGA LUG)

ALL BRICK SUPPORTS & CONCRETE REACTION BLOCKS SHALL BE SOLID.

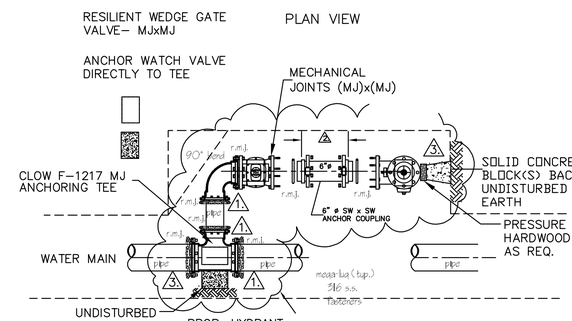
RESTRAINED MECHANICAL JOINT (r.m.j.) [MJ]–(MEGA–LUG)

ALL NEW WATER LINE BENDS SHALL BE RESTRAINED MECHANICAL JOINT [MJ] – (MEGA LUG)

ALL BRICK SUPPORTS & CONCRETE REACTION BLOCKS SHALL BE SOLID.

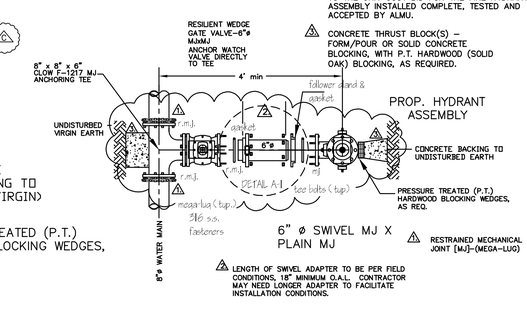
LENGTH OF SWIVEL ADAPTER TO BE PER FIELD CONDITIONS, 18" MINIMUM O.A.L. CONTRACTOR MAY NEED LONGER ADAPTER TO FACILITATE INSTALLATION / LOCATION CONDITIONS. AND TO MITIGATE ANY UNDERGROUND UTILITY CONFLICT. ALL COSTS FOR MATERIAL, LABOR, TOOLS AND EQUIPMENT SHALL BE INCIDENTAL TO THE UNIT COST BID FOR THE FIRE HYDRANT ASSEMBLY INSTALLED COMPLETE, TESTED AND ACCEPTED BY ALMU.

CONCRETE THRUST BLOCK(S) – FORM/POUR OR SOLID CONCRETE BLOCKING, WITH P.T. HARDWOOD (SOLID OAK) BLOCKING, AS REQUIRED.



TYPICAL 6' FIRE HYDRANT LUCAS COUNTY HYDRANT ASSEMBLY INSTALLATION

SCALE: NONE



LENGTH OF SWIVEL ADAPTER TO BE PER FIELD CONDITIONS, 18" MINIMUM O.A.L. CONTRACTOR MAY NEED LONGER ADAPTER TO FACILITATE INSTALLATION CONDITIONS.

TYPICAL 6' FIRE HYDRANT ASSEMBLY INSTALLATION

SCALE: NONE

Auto-Flusher End of Line Fire Hyd., Flush to adjacent Storm Sewer

An automatic water distribution flushing hydrant system shall be installed at the end of the water main's end fire hydrant, to allow for frequent maintenance flushing operations in order to maintain water quality.

HYDRO-GUARD PERMANENT FLUSHING SYSTEM-Fully Automatic, manufactured by Mueller Company,
(PN: HG4ABL2BRN060LPLG), for this Cold Climate applications with freeze protection. Model HG4-direct flush to storm sewer, with an air-gap backflow prevention feature shall be provided. Programming shall be blue tooth style controller (KR-BL), inlet port size of 2", "No Lead Brass pipe materials and a sixty inch (60") minimum bury depth are required. Include a low profile, green in color enclosure. The automatic water distribution flushing equipment to be supplied under this specification shall be the Hydro-Guard Long Neck Sub-Surface Discharge Unit (HG4) as manufactured by Mueller Company and Pressure testing shall be performed against the curb stop by the Contractor.

To Include four (4) schedule 80 steel pipe Bollards, four feet (4') burial depth and four feet (4') exposed height installed with concrete footings and filled with Portland cement 3000 psi class c concrete and inside of pipe and domed with a radius upward as to allow rain water runoff. One (1) coat of primer and two (2) coats of epoxy Federal safety/traffic yellow is required at the locations indicated on the plan sheet, field adjust as directed.

Valve, valve box and cover, extension stem and restrained joint fittings, complete in place, tested and accepted by the Owner. Programmable as to frequency, duration and events each day with a 100 - 250 gpm water main flush flow rate.

The equipment shall be connected to a water distribution line as required by the plans or standard installation detail. The self-contained unit is designed for automatic flushing of the water distribution line through the opening of a control valve that is an integral part of the unit. This equipment shall be (Fully programmable) capable of being programmed to activate when chlorine or chloramine residual levels fall below acceptable standards determined by the operator/end-user and/or be capable of being programmed to flush up to 10 times daily on the days desired in 1 minute to 24 hours increments (on a continually rotating 7-day cycle). All programming shall be accomplished by means of an integrated telemetry based PLC with proprietary programming logic that will consistently analyze the water quality readings taken by the integrated chlorine (total or free) analyzer. The system will be powered by nine volt (9V) battery with an additional 9V Alkaline backup battery (Fully charged batteries shall be supplied with the unit).

The two-way communication (SCADA compatible) remote telemetry based automated flushing and water quality management equipment to be supplied under this specification shall be Hydro-Guard® as manufactured by the Mueller Company or Owner approved equivalent.

Integral Piping and Control Valve, the piping and control valve components shall include the following: The unit's internal 2-inch control valve shall be capable of being activated by a 24VAC solenoid. The control valve shall be a globe valve type design capable of passing sand and other debris up to 5/8" in diameter without obstructing the valve's throat. The unit's standard internal and external piping shall be no lead brass. The unit's internal piping and control valve shall have an operational rating of 200 psi (where consistent pressures range above 110 psi it is recommended that a Pressure Reducing Valve be utilized ahead of the automatic flushing system for the protection of the device and its critical components). Internal piping and control valve shall be capable of being removed from the housing by means of a flange coupling allowing for quick disassembly, permitting easy maintenance and repairs. The control valve shall be constructed of a non-corrosive glass-reinforced nylon, or equal, and shall be fitted with stainless steel hardware. The valve shall be of the type that can be easily rebuilt.

Be secured and water-resistant. Use an integrated 24-volt solenoid to operate the control valve that directly turns into a 2-inch control valve.

De-chlorination for dump flush water to storm sewer, a tablet feeder designed to accommodate eight (8) sodium sulfite or ascorbic acid tablets shall be installed on the unit. A portion of the water being flushed shall be directed through the tablet feeder in the creation of a concentrated solution of the dechlorinating agent. The directly treated, concentrated solution shall be introduced to the non-directly treated discharge on the device's splash plate resulting in a homogenous mixture effectively treating the entire discharge. Depending upon the level of neutralization required, as many as five tablet feeders may be installed on a single flushing device.

Prior to the installation, the drainage patterns for the intended installation location shall be viewed to ensure that any discharged water will not create hazardous conditions for pedestrian or vehicular traffic. The selected location's drainage pattern shall also permit discharged water to flow away from the automatic flushing valve or be absorbed by the surrounding soil as prevent pooling.

Remove debris that might create uneven pressure on the unit from the bottom of the hole. Compact the bottom of the hole to minimalize settling after installation.

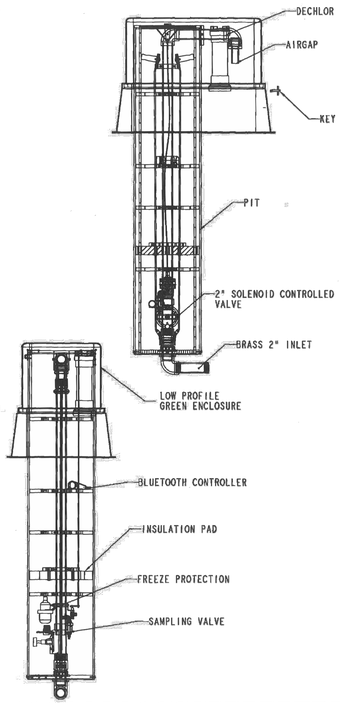
Install a 12" lift of non-compacted #57 premium limestone bedding material into the bottom of the hole, 12" below the unit for drain and also running a six inch (6") drain pipe to storm sewer.

Backfill the hole around the automatic flushing valve with clean fill, #57 stone. Backfilling shall be accomplished in 6" lifts. Use a level to ensure the unit is level after each lift.

The automatic flushing valve shall be disinfected in accordance with ALRW and AWWA standards.

HG4, subsurface discharge unit, requires handheld TBOS-II programming.

The automatic flushing assembly shall be paid for at the contract bid price per each which shall include the cost of all labor, materials, equipment and incidentals required to complete the installation of the automatic flushing valve, furnishing flushing device, piping, tees, fittings, valves, and any other appurtenances, two inch (2") corporation, copper piping and fittings, valve box, frame and cover, ball valve and of delivering, handling, excavation, flush pipe conduit to storm sewer and assembly bottom drain pipe to storm sewer, sheeting, backfilling, dewatering, restoring of the surface, drain to storm sewer and all material or work necessary to install the unit complete in place at the depth specified on the plans. Testing shall be included in the piping test."



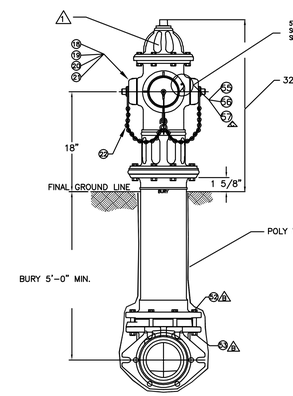
MUELLER PART NO. HG4ABL2BRN060LPLG
MUELLER MODEL NO. HG4

ALMU-WAT-39

REVISION D: 08/20/2020 J.R.G.

MUELLER CENTURION A-423 3-WAY WITH (2)- 2 1/2" HOSE NOZZLES + (1)-5 1/4" STORZ PORT STEAMER PUMPER NOZZLE PER AWWA C502, LATEST EDITION

CONTRACTOR SHALL COVER (BAG) ALL INACTIVE FIRE HYDRANTS AND SHALL CONTACT/COORDINATE IN SERVICE / OUT-OF-SERVICE FIRE HYDRANTS NOTIFICATION WITH THE AVON LAKE FIRE DEPARTMENT PRIOR TO LEAVING THE JOB SITE THAT DAY. AVON LAKE FIRE DEPARTMENT 440-933-2121 440-933-8305. DO NOT LEAVE MESSAGE CONTRACTOR SHALL BE REQUIRED TO TALK TO ACTUAL LIVE OPERATOR.



DWG. FH 133

ENSURE ALL NEW FIRE HYDRANT OIL RESERVOIRS ARE FILLED WITH MUELLER A–51 LUBRICATING OIL, FDA APPROVED, TEMPERATURE RANGE –60°F TO +150°F

ITEM	DESCRIPTION	REQ'D	MATERIAL	A.S.T.M.	
1	OPERATING NUT	1	BRONZE	B–584	ALLOY 844
2	WIPER RING	1	RUBBER	D–2000	EPDM
3	HOLD DOWN NUT O–RING	1	RUBBER	D–2000	BUNA N
4	HOLD DOWN NUT	1	BRONZE	B–584	ALLOY 844
5	BONNET O–RING	1	RUBBER	D–2000	BUNA N
6	ANTI–FRICTION WASHER	1	CELCON		GRADE M90–04
7	OIL FILLER PLUG	1	BRASS	B–16	ALLOY 360
8	BONNET	1	CAST IRON	A–126	CLASS B
9	HEX BOLT	8	STEEL	A–307	ELECTROGALV. GR. B
10	TOP UPPER BARREL O–RING	1	RUBBER	D–2000	BUNA N
11	UPPER STEM	1	STEEL	A–576	GR 1117
12	STEM O–RING	1	RUBBER	D–2000	BUNA N
13	GASKET	1	RUBBER	D–2000	
14	5" STORZ PUMPER NOZZLE	1			
15	STORZ CAP CABLE	1	STAINLESS STEEL		
16	PUMPER NOZZLE O–RING	1	RUBBER	D–2000	BUNA N
17	5" STORZ PUMPER CAP	1	ALUMINUM		
18	HOSE NOZZLE	2	BRONZE	B–584	ALLOY 844
19	HOSE NOZZLE CAP GASKET	2	RUBBER	D–2000	NEOPRENE
20	HOSE NOZZLE O–RING	2	RUBBER	D–2000	BUNA N
21	HOSE NOZZLE CAP	2	CAST IRON	A–126	CLASS B

ITEM	DESCRIPTION	REQ'D	MATERIAL	A.S.T.M.	
22	CAP CHAIN	3	STEEL		ELECTRO. GALV.
23	CHAIN HOOK	1	STEEL		ELECTRO. GALV.
24	UPPER BARREL	1	CAST IRON	A–126	CLASS B
25	SAFETY STEM COUPLING	1	STAINLESS STEEL	A–890	15.5% SILICON MAX.
26	SAFETY FLANGE BOLT	8	STEEL	A–307	ELECTROGALV. GR. B
27	BOTTOM UPPER BARREL O–RING	1	RUBBER	D–2000	BUNA N
28	SAFETY FLANGE	1	CAST IRON	A–126	CLASS B
29	COTTER PIN	2	STAINLESS STEEL	A–276	302
30	CLEVIS PIN	2	STAINLESS STEEL	A–276	305
31	LOWER STEM	1	HOT ROLL STEEL	A–576	GRADE 1117
32	LOWER BARREL	1	CAST IRON	A–126	CLASS B
33	STEM PIN	1	STAINLESS STEEL	A–276	302
34	DRAIN VALVE FACING	2	HIGH PERFORMANCE		LS 5660–00
35	DRAIN VALVE FACING SCREW	4	STAINLESS STEEL	A–276	302
36	UPPER VALVE PLATE	1	BRONZE	B–584	ALLOY 844
37	BOTTOM SEAT O–RING	1	RUBBER	D–2000	BUNA N
38	DRAIN RING	1	BRONZE	B–584	ALLOY 844
39	SEAT RING	1	BRONZE	B–584	ALLOY 844
40	DRAIN RING HOUSING	1	CAST IRON	A–126	CLASS B
41	MAIN VALVE	1	RUBBER	D–2000	NATURAL
42	LOWER VALVE PLATE	1	CAST IRON	A–126	CLASS B
43	LOCK WASHER	1	STAINLESS STEEL	A–276	302

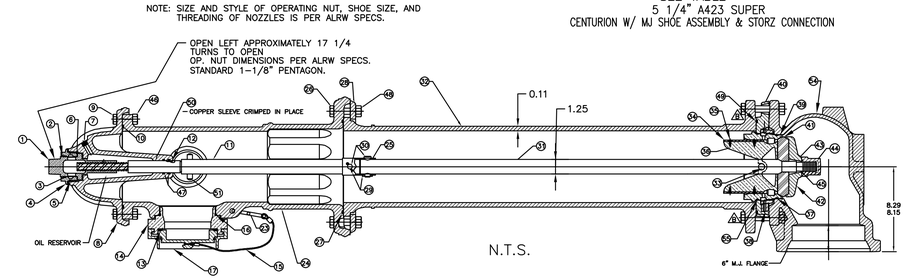
ITEM	DESCRIPTION	REQ'D	MATERIAL	A.S.T.M.	
44	VALVE NUT	1	CAST IRON	A–126	CLASS B
45	VALVE NUT SEAL	1	RUBBER		NITRILE
46	HEX NUT	8	STEEL		ELECTRO. GALV.
47	STEM O–RING	2	RUBBER	D–2000	BUNA N
48	SAFETY FLANGE NUT	8	STEEL		ELECTRO. GALV.
49	DRAIN RING HOUSING O–RING	1	RUBBER	D–2000	BUNA N
50	SLEEVE	1	COPPER	B–75	ALLOY 122
51	UPPER STEM PIN	1	STAINLESS STEEL	A–276	302
52	HEX BOLT	6	STAINLESS STEEL	A–276	302
53	HEX NUT	6	STAINLESS STEEL	A–276	302
54	SHOE	1	DUCTILE IRON	A5.36	GRADE 65–45–12
55	5" LOCK QUICK DISCONNECT	1			PN:74257
56	5" LOCK MECHANISM, QUICK DISCONNECT	1			PN:74257
57	SPRING, TORSION, 180 DEG. ANGLE, 302 S.S. CLOCKWISE WOUND	1			PN:290484

SEE CAT. RECORD FOR RESPECTIVE PARTS OR SUB. ASS'YS
LUBRICATION SHALL BE FDA APPROVED FOOD GRADE LUBRICANT.

REFER TO WATER PLAN DETAILS ALMU-WAT-4 (LUCAS COUNTY STYLE) AND ALMU-WAT-3 FOR SITE SPECIFIC CONFIGURATION(S) OF HYDRANT ASSEMBLY.

NOTE: SIZE AND STYLE OF OPERATING NUT, SHOE SIZE, AND THREADING OF NOZZLES IS PER ALRW SPECS.

SEE TABLE
5 1/4" A423 SUPER
CENTURION W/ MJ SHOE ASSEMBLY & STORZ CONNECTION



N.T.S.

5 1/4" A423 SUPER CENTURION "250" W/ TWO HOSE NOZZLES & ONE PUMPER NOZZLE – 250 P.S.I. W.P.– 500 P.S.I. TEST, 1997 STYLE.
FOR USED IN THE CITY OF AVON LAKE, LORAIN COUNTY, OHIO

REVISIONS

SANDRIDGE RUN
R–2 DEVELOPMENT
WATER DETAIL SHEET

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251–3033, REITZ@REITZENG.COM

11/11

NOVEMBER 2021

PORT SIDE TOWNHOUSE SUBDIVISION – FINAL PLAT

Report

To: Planning Commission

From: Kelly La Rosa, Planning and Zoning Manager

Date: May 29, 2025

Re: Case No. CPC-25-8, Pulte Homes of Ohio LLC, Major Subdivision Final Plat Approval for Port Side Townhouse Subdivision situated along Rock Harbor and South Port Drive.

PROJECT OVERVIEW

Pulte Homes of Ohio, LLC requests Final Plat approval for the third phase of the Walker Road Planned Unit Development (PUD), also known as the Port Side Townhouse Subdivision. The 5.0206-acre site consists of 18 fee-simple townhouse lots, three common area blocks, one private street block (Rock Harbor), and two public streets (South Port Drive and Handford Boulevard). The subdivision was approved under the prior Avon Lake zoning code with applicable density allowances. The subdivision yields a density of 3.6 units per acre.

Figure 1: Maps Data: Google Earth 6/2/2015.

PROJECT DESCRIPTION

Owner: Pulte Homes of Ohio, LLC 387 Medina Road, Medina.

Engineer: Henry G. Reitz Engineering Co.

Location: The Port Side Townhouse Subdivision is south of Walker Road, north of Krebs Road, and east of Lear Road. The townhouse units are situated along Rock Harbor and South Port Drive, intersecting at the traffic circle with Handford Blvd.

Approvals: The Walker Road PUD's General Development Plan was approved on April 6, 2021, detailing 113 units, comprising 36 townhomes, 31 single-family homes, and 46 cluster homes. Phase 1, approved on April 5, 2022, includes 18 townhomes and 31 single-family homes. Phase 2, approved on August 1, 2023, encompasses 46 cluster units. Phase 3 improvement plans were approved on August 6, 2024, and includes 18 attached townhouse units.

Zoning: The property is designated as part of a PUD within Avon Lake's zoning district map. To achieve specific objectives, this designation offers flexibility in lot sizes, setback lines, yard areas, and building types. It also includes provisions for incorporating open spaces, common areas, utilities, public enhancements, and additional uses.

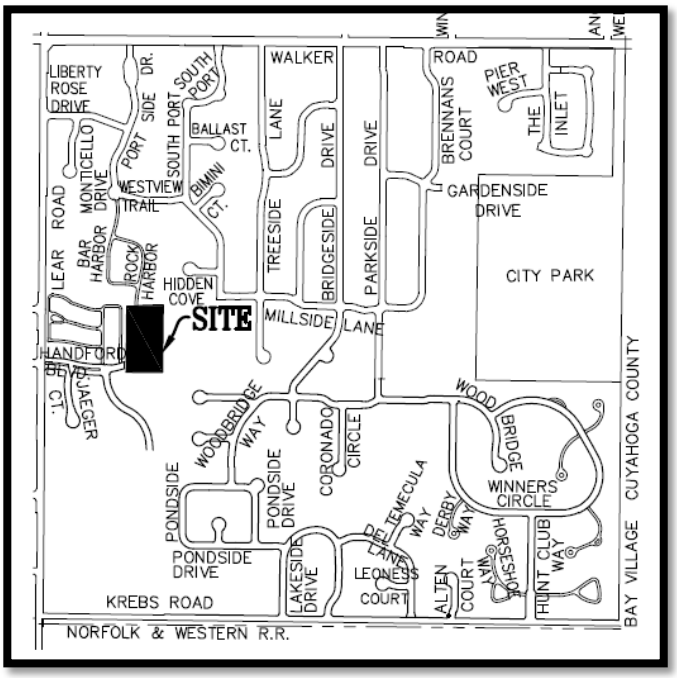
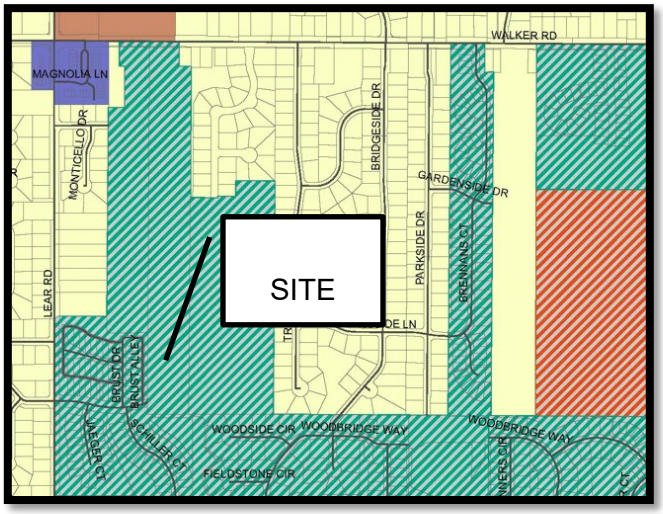


Figure 2: Vicinity Map



Land Use: According to the Future Land Use Map of the Comprehensive Plan, the site is designated as Low-Density Residential for detached single-family homes.

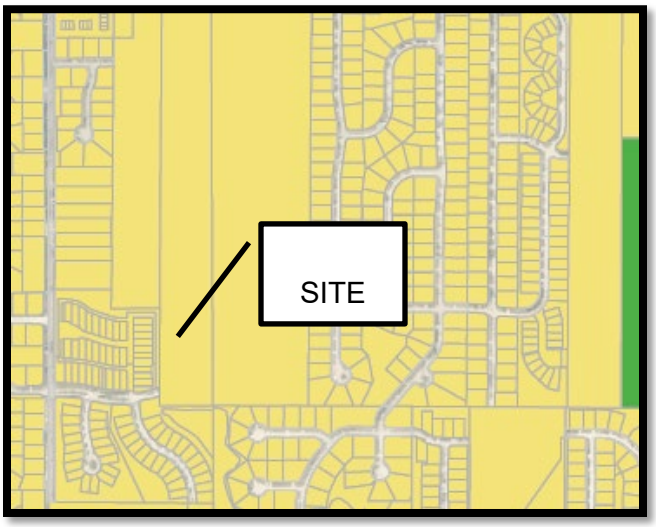


Figure 4: Excerpt Avon Lake Land Use Map

APPLICABLE CODE SECTIONS

Section 1214.05: Major Subdivision

This section governs the review of major subdivisions, ensuring consistency with zoning regulations, thoroughfare planning, infrastructure requirements, and integration with existing documents.

Section 1238: Subdivision Design Standards

This section defines Subdivision Design Standards, including lot layout, block length, right-of-way configuration, utilities, sidewalks, landscaping, and connectivity.

PROJECT ANALYSIS

This application represents the Final Plat stage of the Port Side Townhouse Subdivision, the third phase of the Walker Road PUD. The development includes 5.0206 acres dedicated to 18 fee-simple townhouse lots. The Final Plat, once recorded with the Lorain County Recorder's office, will allow for the sale of the subdivided lots. It serves to define property boundaries for transfer or sale and to describe and dedicate rights-of-way and easements.

The Final Plat complies with all applicable provisions of the Avon Lake Planning and Zoning Code, including Sections 1214.05 (Major Subdivision) and 1238 (Subdivision Design Standards). The City Engineer will confirm that it meets all requirements for public infrastructure, easement dedication, and utility access. The As-Built plans and pin certification were submitted today. The City Engineer will review the information and then determine the financial obligations associated with the subdivision. All recording-related fees must be received and certified by the Finance Director before recording the Final Plat.

A temporary traffic barrier was installed on Handford Boulevard at the request of residents and will remain in place pending the completion of a Traffic Impact Study. This interim measure does not impact the technical review or the Final Plat's compliance with city code.

SUSTAINABILITY CONSIDERATIONS

The Port Side Townhouse Subdivision incorporates several sustainability-focused design strategies per Avon Lake's stormwater management and water quality standards. Although the retention basins serving this development were constructed during earlier subdivision phases, the project continues to contribute to ecosystem health through multiple means.

Stormwater runoff is managed through a system of basins that reduce flooding and erosion, promote groundwater recharge via enhanced infiltration practices, and improve water quality by incorporating both construction-phase sediment controls and long-term water treatment features. These strategies support both compliance and environmental benefits.

Approved under the PUD code, the General Development Plan emphasizes sustainability by reducing the extent of impervious surfaces compared to conventional development patterns. This is achieved through increased common open space and more compact development design, which together mitigate environmental impacts while maintaining residential density.

Additional site-specific water quality enhancements were included in this phase of the project. Stormwater from adjacent upstream developments is routed through newly constructed water quality basins located near Walker Road, improving the treatment of regional runoff. The project also preserves the existing Gable Ditch, which runs along the site's eastern and southern boundaries. Instead of enclosing this natural feature, the developer preserved an open channel and maintained a riparian corridor to protect water quality and habitat. At necessary street crossings, 3-sided culvert structures were used to minimize disruption to the natural flow and ecological integrity of the ditch.

DEVELOPMENT REVIEW COMMITTEE FINDINGS

The Final Plat submission has been reviewed by the Development Review Committee comprised of representatives from Community Development, Engineering, Building, Public Works, Avon Lake Regional Water, Fire, and Police and confirmed that it is consistent with the previously approved General Development Plan. However, Avon Lake Regional Water indicated that the water main needs additional testing.

As stated in the project analysis, final approval of the pin certification is required by the City Engineer, who will then determine the financial obligations associated with the subdivision, including performance bonds, maintenance guarantees, and applicable fees. All recording-related fees must be received and certified by the Finance Director before recording the Final Plat.

REVIEW CRITERIA AND COMMISSION ACTION

To approve a major subdivision, the Commission must determine that the Final Plat meets all applicable standards as outlined in Section 1214.05 of the Avon Lake Planning and Zoning Code. The following criteria shall be considered:

1. That the major subdivision complies with all applicable provisions of this code;
2. That the subdivision does not conflict with other regulations, plans, or policies of the City;
3. That it is designed to be harmonious with the existing immediate or surrounding area or in keeping with the intended character of such area;
4. That it follows the Master Thoroughfare Plan and minimizes traffic congestion in public streets;
5. That it will not adversely affect the delivery of governmental services;
6. That the comments from review agencies have been adequately considered and addressed; and
7. That it conforms to the approved preliminary plat if submitted and approved.

Following its review, the Commission shall decide whether to return the Final Plat to the applicant for revisions or to forward a recommendation to the City Council for approval, approval with conditions, or denial. If recommending denial, the Commission must identify the specific review criteria that were not met and provide the reasoning behind that conclusion.

Potential Motion: The Planning Commission must make a motion in the affirmative. At least four affirmative ("yes") votes are required to recommend approval, or four negative ("no") votes are required to recommend denial to the City Council. The sample motion provided below is for guidance only and does not imply a recommendation or predetermined outcome.

> I move to recommend approval of the Final Plat for Case No. CPC-25-8, Pulte Homes of Ohio, LLC Major Subdivision Final Plat for Port Side Townhouse Subdivision to the City Council, contingent upon confirmation from the Finance Director that all financial requirements including performance bonds, maintenance guarantees, and applicable fees have been satisfied per the City's subdivision regulations. Additionally, I find that the Final Plat is in conformance with the General Development Plan and is in conformity with applicable zoning ordinances or other land use controls and that the subdivision will serve the public use and interest.
>
> _____
>
> _____

SUBSEQUENT ACTION

With approval from the Planning Commission, whether full or conditional, the Final Plat will proceed to the City Council for their review and decision. If the Planning Commission denies the Final Plat, the applicant may not continue in the review process until the Planning Commission issues a recommendation for approval.

ATTACHMENTS

- Planning Commission Application
- DRC Comments

Zoning Review - Austin

Record No.**CPC-25-8**

Status Completed

Became Active May 2, 2025

Assignee Austin Page

Due Date May 12, 2025

Primary Location

0 ROCK HARBOR
AVON LAKE, OH 44012

Owner

PULTE HOMES OF OHIO LLC
387 MEDINA RD Medina, OH 44256

Applicant

James Sayler
216-251-3033
reitz@reitzeng.com
4214 Rocky River Dr.
Cleveland, OH 44135

Messages

Austin Page May 19, 2025 at 10:10 am

1. Are CBU proposed for this phase or will they use other location? If so, depict on the plan. 2. Sidewalks are obviously required on both sides of Hanford as it is a public street... is that the same for Rock Harbor? or just one side? 3. Will the lots account for patio, outdoor space, etc. Lots are fairly deep but with townhome/condo lots, we have had issues with patios extending into HOA space. Seems like there is ample space for this to not occur.

CPC-25-8

Planning Commission Application

Status: Active

Submitted On: 5/2/2025

Primary Location

0 ROCK HARBOR
AVON LAKE, OH 44012

Owner

PULTE HOMES OF OHIO LLC
387 MEDINA RD Medina, OH 44256

Applicant

James Sayler
216-251-3033
reitz@reitzeng.com
4214 Rocky River Dr.
Cleveland, OH 44135

Property or Parcel Information

Zoning Classification

PUD

Present Use*

Under Construction

Type of Request*

Major Subdivision - Final Plat

General Description of Project*

Requesting final approval of the plat of the Port Side Townhouse Subdivision now that construction of street improvements is substantially complete.

Have you had your meeting with the Development Review Committee?*

No

Your application will not be reviewed until you have met with the Development Review Committee (DRC). Please submit the DRC application before submitting this application.

Applicant Information

Applicant is the Property Owner or Property Owner's Designee.
Project Manager will be the person working closest with the plans and will be the main point of contact for the Planning Department's questions.

Applicant Role*

Subdivider

Applicant Name*

James Sayler

Address*

4214 Rocky River Dr.

City*

Cleveland

State*

OH

Zip*

44135

Phone*

216-251-3033

Email*

jts@reitzeng.com

Project Manager

James Sayler

Project Manager Phone

216-251-3033

Project Manager Email

jts@reitzeng.com

Property Owner Information

Name*

Pulte Homes of Ohio, LLC

Address*

387 Medina Road

City*

Medina

State*

OH

Zip*

44256

Phone*

330-849-3478

Signature

Applicant Signature*

James Sayler
May 2, 2025

The project is the third construction phase of the Port Side project in the Walker Road P.U.D. General Development Plan. It consists of 18 attached townhouse units. There has been no significant change in the street or lot layout from the approved General Development Plan. The fee simple townhouse zero lot line lots are proposed to be 30' wide on both a dedicated public right-of-way (that connects to adjacent existing dedicated public rights-of-way to the East and West) and a private drive (that will connect to the Port Side Cluster Subdivision to the North.) All sanitary sewers and water mains are proposed to be public utilities. The storm sewer system is a private sewer to be maintained by the home owner association.

The project is designed in accordance with Avon Lake storm water management and storm water quality standards to promote ecosystem health through flood and erosion reduction provided by storm water retention basins (installed in prior subdivision phases), ground water replenishment provided through enhanced infiltration practices, sediment control and waste management strategies provided by construction site storm water management controls and post-construction water quality enhancements provided by water quality features included in the design of the retention basins.

In addition, the General Development Plan was approved under the Planned Unit Development Code to increase the amount of common open space provided in the City and decrease the impervious improvements that would be necessary for the allowable number of new homes constructed.

Also, the General Development Plan for this specific project included site specific water quality enhancements. The water quality of runoff from surrounding developments was improved by routing stormwater from existing upstream developments through a pair of newly constructed water quality basins adjacent to Walker Road. Impacts to Gable ditch, which flows along the Eastern and Southern boundaries of the project, were minimized by allowing it to remain an open channel and preservation of a riparian corridor instead of enclosing it. The impacts at the required street crossings of Gable Ditch were minimized by utilizing 3-sided culvert structures instead of fully enclosed structures.

PORT SIDE TOWNHOUSE SUBDIVISION

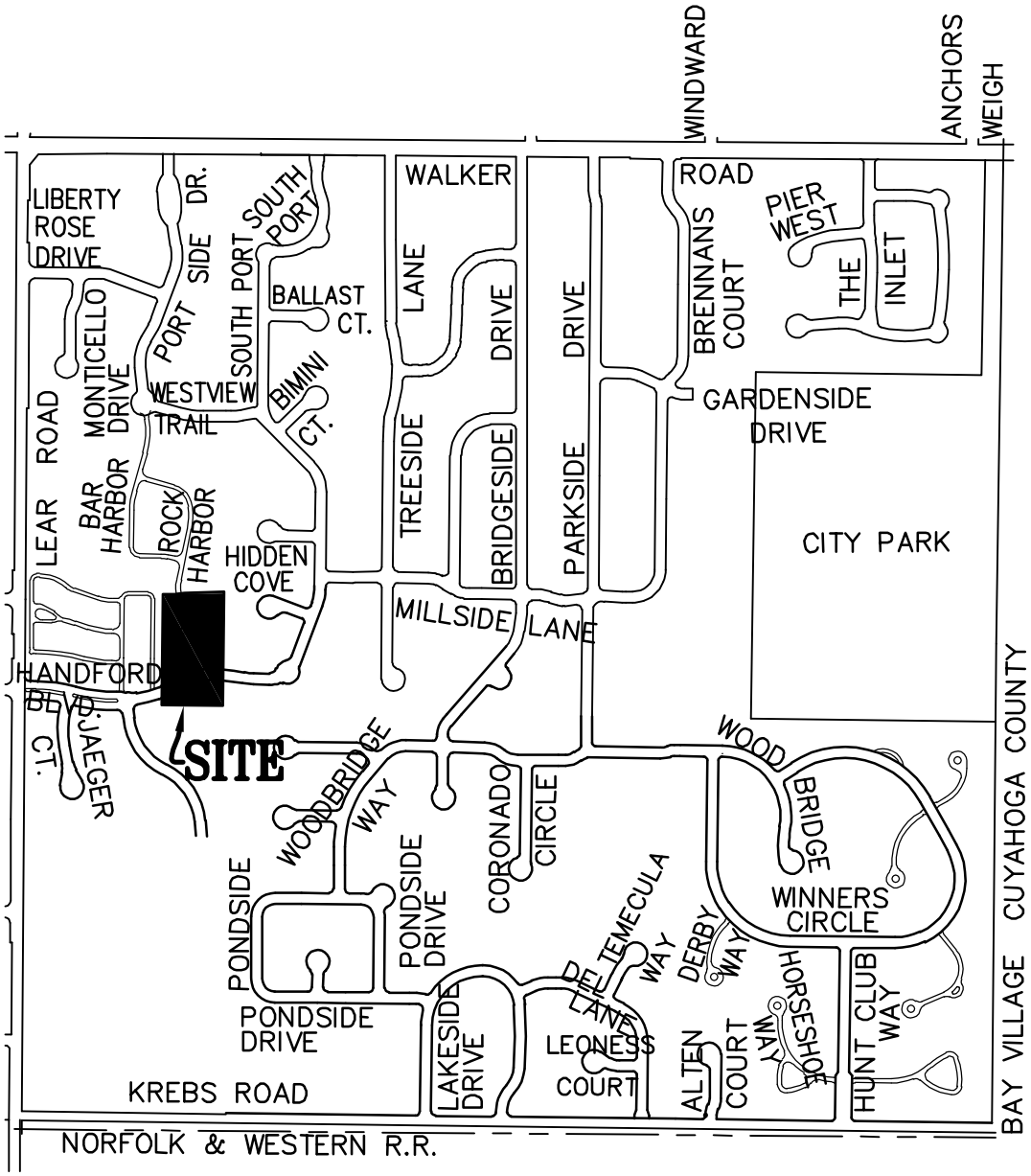
BEING PART OF

ORIGINAL AVON TOWNSHIP SECTION NO. 29

PART OF PPN 04-00-029-101-236

AVON LAKE, COUNTY OF LORAIN

O.U.P.S.# A-410-901-195



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THE HENRY G. REITZ ENGINEERING CO.

Civil Engineers and Surveyors

James T. Sayler, P.E., P.S., President
Linda S. Rerko, *Sec.-Treas.*

4214 ROCKY RIVER DRIVE
CLEVELAND, OHIO 44135-1948

TELEPHONE: (216) 251-3033
EMAIL: reitz@reitzeng.com

May 29, 2025

Planning Department
City of Avon Lake
150 Avon Belden Road
Avon Lake, Ohio 44012

Dear Sirs/Madams:

This is to certify that we have completed setting pins for property corners for the Port Side Townhouse Subdivision with the exception of the rear sublot corner pins. Because of the likelihood of pins being disturbed during installation of gas main, building and driveway construction the rear corner pins will be set, and the front corner pins will be reset if necessary, prior to obtaining an occupancy permit.

STATE OF OHIO
JAMES T. SAYLER
S-7425
REGISTERED
PROFESSIONAL SURVEYOR

Very truly yours,

THE HENRY G. REITZ ENGINEERING CO.

by

James T. Sayler, President

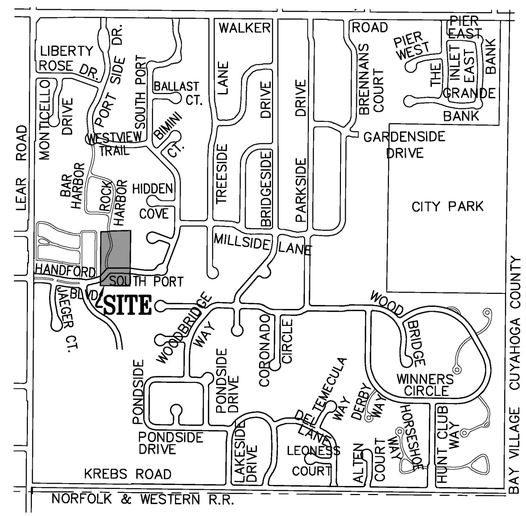
PORT SIDE TOWNHOUSE SUBDIVISION

PLAT

BEING PART OF AVON TOWNSHIP SECTION NO. 29 NOW IN THE CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF OHIO

LOTS ARE SUBJECT TO A HOMEOWNERS' ASSOCIATION AND THE MAINTENANCE OF LANDSCAPE ISLANDS IN RIGHTS–OF–WAY & COMMON AREA BLOCKS ARE THE RESPONSIBILITY OF HOMEOWNERS' ASSOCIATIONS

THE HOMEOWNERS' ASSOCIATION SHALL ALSO BE REQUIRED TO MAINTAIN AND INSPECT THE RETENTION AND WATER QUALITY BASINS, AND PROVIDE REPORTS TO THE CITY OF AVON LAKE, AS SET FORTH IN THE INSPECTION AND MAINTENANCE AGREEMENT THAT IS REQUIRED TO BE ENTERED INTO BETWEEN THE DEVELOPER AND THE CITY OF AVON LAKE IN ACCORDANCE WITH THE PROVISIONS OF AVON LAKE MUNICIPAL CODE, CHAPTER 1060, SECTION 1060.08(D)(10) & SECTION 1060.13.



SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT AT THE REQUEST OF THE OWNERS, PULTE HOMES OF OHIO, LLC. I HAVE SURVEYED AND PLATTED THE PORT SIDE TOWNHOUSE SUBDIVISION AS SHOWN HEREON AND CONTAINING 5.0206 ACRES IN AVON TOWNSHIP SECTION NO. 29, NOW IN THE CITY OF AVON LAKE, COUNTY OF LORAIN, STATE OF OHIO.

AT ALL POINTS INDICATED Ⓜ 5/8" ~ 30" LONG CAPPED (REITZ ENG.) IRON PIN MONUMENTS WERE SET.
AT ALL POINTS INDICATED O 5/8" ~ 30" LONG CAPPED (REITZ ENG.) IRON PINS WERE SET.

MEASUREMENTS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. BEARINGS SHOWN ARE BASED ON WALKER ROAD BEARING N89°28'00"E AND FOR THE PURPOSE OF DESCRIBING ANGLES ONLY. THE PLAN REPRESENTS A SURVEY IN WHICH THE TRAVERSE OF THE EXTERIOR BOUNDARIES OF THE TRACT AND OF EACH BLOCK WHEN COMPUTED FROM FIELD MEASUREMENTS OF THE GROUND CLOSED WITHIN A LIMIT OF ERROR OF ONE (1) FOOT TO TEN THOUSAND (10,000) FEET OF THE PERIMETER BEFORE BALANCING THE SURVEY. THE SURVEY MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS, IN SECTION 4733–37 OF THE OHIO ADMINISTRATIVE CODE AND ADJACENT PROPERTY DESCRIPTIONS HAVE BEEN CONSIDERED IN PERFORMING THIS SURVEY. ALL OF WHICH I CERTIFY TO BE CORRECT.

MAY, 2025

ACREAGE IN 18 LOTS	1.3790 AC.
ACREAGE IN 3 COMMON BLOCKS	2.5780 AC.
ACREAGE IN PUBLIC STREET R/W	0.5356 AC.
ACREAGE IN PRIVATE STREET BLOCK "A"	0.5280 AC.
TOTAL	5.0206 AC.

THE HENRY G. REITZ ENGINEERING COMPANY

BY: _____ , PRES.
JAMES T. SAYLER, REGISTERED SURVEYOR NO. S–7425

OWNERS CERTIFICATE

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND SURVEY, DO HEREBY ASSENT TO AND ADOPT THIS SUBDIVISION OF THE SAME, ACKNOWLEDGE THAT THE SAME WAS AT OUR REQUEST AND AUTHORIZE ITS RECORDING. WE DO HEREBY DEDICATE TO PUBLIC USE THE STREETS SHOWN HEREON AND DESIGNATED AS SOUTH PORT DRIVE 60' AND HANDFORD BOULEVARD 60'.

PULTE HOMES OF OHIO, LLC
387 MEDINA ROAD
MEDINA, OHIO 44256

_____
BRAD PIROLI, VICE PRESIDENT

NOTARY PUBLIC

COUNTY OF)
STATE OF OHIO) SS
THIS IS TO CERTIFY THAT BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE DID PERSONALLY APPEAR PULTE HOMES OF OHIO, LLC., BY BRAD PIROLI, VICE PRESIDENT, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING PLAT OF PORT SIDE TOWNHOUSE SUBDIVISION AND THAT THE SAME WAS THEIR FREE ACT AND DEED AND THE FREE ACT AND DEED OF SAID CORPORATION.

IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, _____.

_____
NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SANITARY SEWER, WATERLINE, STORM SEWER AND DRAINAGE EASEMENTS

SANITARY SEWER, WATERLINE, STORM SEWER AND DRAINAGE EASEMENTS AS SHOWN HEREON THIS PLAT ARE GRANTED BY THE UNDERSIGNED OWNER OF THE WITHIN PLATTED LAND WHO DOES HEREBY GRANT UNTO THE CITY OF AVON LAKE, (HEREINAFTER REFERRED TO AS THE "GRANTEE"), A PERMANENT RIGHT–OF–WAY AND EASEMENT OF SUCH WIDTHS AND LENGTHS AS DEFINED AND SHOWN ON THIS PLAT OVER AND THROUGH SUCH SUBLOTS AND BLOCKS AS SHOWN HEREON TO CLEAN, DEEPEN, WIDEN, IMPROVE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH IMPROVEMENTS ABOVE AND BELOW GROUND, TO MAINTAIN AND/OR IMPROVE SUCH FACILITIES AS DEEMED NECESSARY OR CONVENIENT BY THE GRANTEE FOR MAINTAINING PUBLIC SERVICES, DRAINAGE AND UTILITIES AS GRANTEE MAY DETERMINE UPON, WITHIN AND ACROSS THE EASEMENT PREMISES, SUBJECT TO THE TERMS INCLUDED HEREIN. NO STRUCTURES SHALL BE PLACED WITH SAID EASEMENTS. WITHIN SAID EASEMENT, NO FENCES, SIGNAGE, MOUNDING OR ROCKS GREATER THAN TWO FEET IN DIAMETER SHALL BE PLACED WITHIN FIVE FEET OF WATERLINES OR SANITARY SEWERS WITHOUT PRIOR APPROVAL OF THE GRANTEE. SAID EASEMENT RIGHTS SHALL INCLUDE THE RIGHT WITHOUT LIABILITY THEREFORE, TO REMOVE TREES AND LANDSCAPING INCLUDING LAWNS, WITHIN SAID EASEMENT PREMISES, WHICH MAY INTERFERE WITH THE INSTALLATION, MAINTENANCE, REPAIR OR OPERATION OF SUCH DRAINAGE, PUBLIC UTILITIES AND FACILITIES, THE RIGHT TO CLEAN, WIDEN, DEEPEN, REPAIR, AUGMENT AND MAINTAIN DRAINAGE AND PUBLIC SERVICES WITHIN THE ABOVE DESCRIBED EASEMENT PREMISES, WITH THE RIGHT OF ACCESS AND EGRESS TO ANY OF THE WITHIN SHOWN EASEMENTS FOR EXERCISING ANY OF THE PURPOSES OF THIS EASEMENT GRANT. THE GRANTEE SHALL NOT BE REQUIRED TO REPLACE OR REPAIR ANY CURBS, FENCES, SIDEWALKS, DRIVEWAYS, ROADWAYS, PARKING AREAS, SIGNAGE AND LANDSCAPING, INCLUDING ORNAMENTAL TREES, BUSHES AND SPECIAL PLANTINGS AND THAT THE SAME ARE CONSTRUCTED ON THE EASEMENT AREA AT THE GRANTOR'S RISK; THE GRANTEE'S ONLY OBLIGATION BEING TO RESTORE THE DENSITY OF SUBSURFACE MATERIAL AND TO REPAIR OR REPLACE ANY GRASS DAMAGED IN SUCH MAINTENANCE, REPAIR OR RECONSTRUCTION. REGULAR MAINTENANCE OF THE EASEMENT AREA LANDSCAPE IS THE RESPONSIBILITY OF THE LANDOWNER. THE GRANTEE RESERVES THE RIGHT TO ENTER AND PERFORM ANY NECESSARY LANDSCAPE MAINTENANCE IF THE LANDOWNER FAILS TO DO SO AND CHARGE THE LANDOWNER FOR SAID LANDSCAPE MAINTENANCE.

PULTE HOMES OF OHIO, LLC., BY BRAD PIROLI, VICE PRESIDENT

_____
BRAD PIROLI, VICE PRESIDENT

PUBLIC ACCESS EASEMENT

WE, THE UNDERSIGNED OWNERS OF THE WITHIN PLATTED LAND DO HEREBY GRANT UNTO THE CITY OF AVON LAKE A BLANKET PUBLIC ACCESS EASEMENT OVER ALL OF BLOCK "A" AS SHOWN HEREON FOR THE PURPOSE OF PERMITTING VEHICULAR TRAFFIC TO PASS OVER THE PRIVATE STREET DESIGNATED AS ROCK HARBOR. NO GATES OR OTHER RESTRICTIONS ARE TO BE PLACED THAT WOULD PREVENT NORMAL PUBLIC VEHICULAR ACCESS TO TRAVERSE THE PRIVATE STREETS.

PULTE HOMES OF OHIO, LLC., BY BRAD PIROLI, VICE PRESIDENT

_____
BRAD PIROLI, VICE PRESIDENT

UTILITY EASEMENTS

WE, THE UNDERSIGNED OWNERS OF THE WITHIN PLATTED LAND DO HEREBY GRANT UNTO THE ILLUMINATING COMPANY, COLUMBIA GAS OF OHIO, CENTURYLINK COMPANY OF OHIO, AND CATV FACILITIES, THEIR SUCCESSORS AND ASSIGNS (HEREINAFTER REFERRED TO AS THE "GRANTEES"), IN THE WIDTHS AS SHOWN HEREON, A PERMANENT RIGHT OF WAY EASEMENT ON OVER, UNDER AND THROUGH ALL SUBLOTS AND ALL LANDS AS SHOWN HEREON AND PARALLEL WITH ALL STREETS LINES TO CONSTRUCT, PLACE, OPERATE, MAINTAIN, REPAIR, RECONSTRUCT AND RELOCATE SUCH UNDERGROUND ELECTRIC LINES, GAS MAINS AND COMMUNICATIONS CABLES, DUCTS, CONDUITS, SURFACE OR BELOW GROUND, MOUNTED TRANSFORMERS AND PEDESTALS, CONCRETE PADS AND OTHER FACILITIES AS ARE NECESSARY AND CONVENIENT FOR THE GRANTEES TO DISTRIBUTE AND TRANSMIT ELECTRICITY, GAS AND COMMUNICATIONS SIGNALS FOR PUBLIC AND PRIVATE USE AT SUCH LOCATIONS AS GRANTEES MAY DETERMINE UPON, WITHIN AND ACROSS THE EASEMENT PREMISES. SAID EASEMENT SHALL INCLUDE THE RIGHT TO INSTALL, MAINTAIN, REPAIR AND AUGMENT ELECTRIC, GAS AND COMMUNICATION FACILITIES OUTSIDE THE ABOVE DESCRIBED PREMISES AND SHALL ALSO INCLUDE THE RIGHT OF ACCESS, INGRESS AND EGRESS TO AND FROM ANY OF THE WITHIN DESCRIBED PREMISES FOR THE PURPOSE OF EXERCISING ANY OF THE EASEMENTS RIGHTS INDICATED HEREIN. GRANTEES SHALL AT THEIR EXPENSE RESTORE THE LAND TO ITS CONDITION AS IT EXISTED IMMEDIATELY PRIOR TO THE WORK PERFORMED BY GRANTEES, EXCEPT GRANTEES SHALL NOT BE RESPONSIBLE FOR REPLACING OR REPAIRING ANY PERMANENT STRUCTURES, TREES OR SHRUBS WHICH ARE LOCATED WITHIN THE EASEMENT BOUNDARIES AND ARE DAMAGED OR REMOVED AS A RESULT OF WORK PERFORMED AS PROVIDED FOR HEREIN BY GRANTEES. THE SUBLOTS SHALL BE RESTRICTED TO UNDERGROUND UTILITY SERVICE.

PULTE HOMES OF OHIO, LLC., BY BRAD PIROLI, VICE PRESIDENT

_____
BRAD PIROLI, VICE PRESIDENT

ENGINEER'S CERTIFICATE

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS PLAT OF THE PORT SIDE TOWNHOUSE SUBDIVISION AND FIND THE SAME TO BE PREPARED IN ACCORDANCE WITH THE CODIFIED ORDINANCES OF THE CITY OF AVON LAKE.

_____
AVON LAKE CITY ENGINEER,
CHRISTOPHER L. HOWARD, P.E.

CITY COUNCIL

THIS IS TO CERTIFY THAT THIS PLAT OF THE PORT SIDE TOWNHOUSE SUBDIVISION HAS BEEN ACCEPTED BY THE COUNCIL OF THE CITY OF AVON LAKE, LORAIN COUNTY, OHIO BY ORDINANCE NO. _____PASSED THE ___ DAY OF _____, 20___.

_____
MAYOR,
MARK A. SPAETZEL

_____
CLERK OF COUNCIL,
VALERIE E. ROSMARIN

LAW DIRECTOR

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS PLAT OF THE PORT SIDE TOWNHOUSE SUBDIVISION AND FIND THE SAME TO BE PREPARED IN ACCORDANCE WITH THE CODIFIED ORDINANCES OF THE CITY OF AVON LAKE.

_____
AVON LAKE LAW DIRECTOR,
GARY A. EBERT

LORAIN COUNTY AUDITOR

LORAIN COUNTY RECORDER

REVISIONS

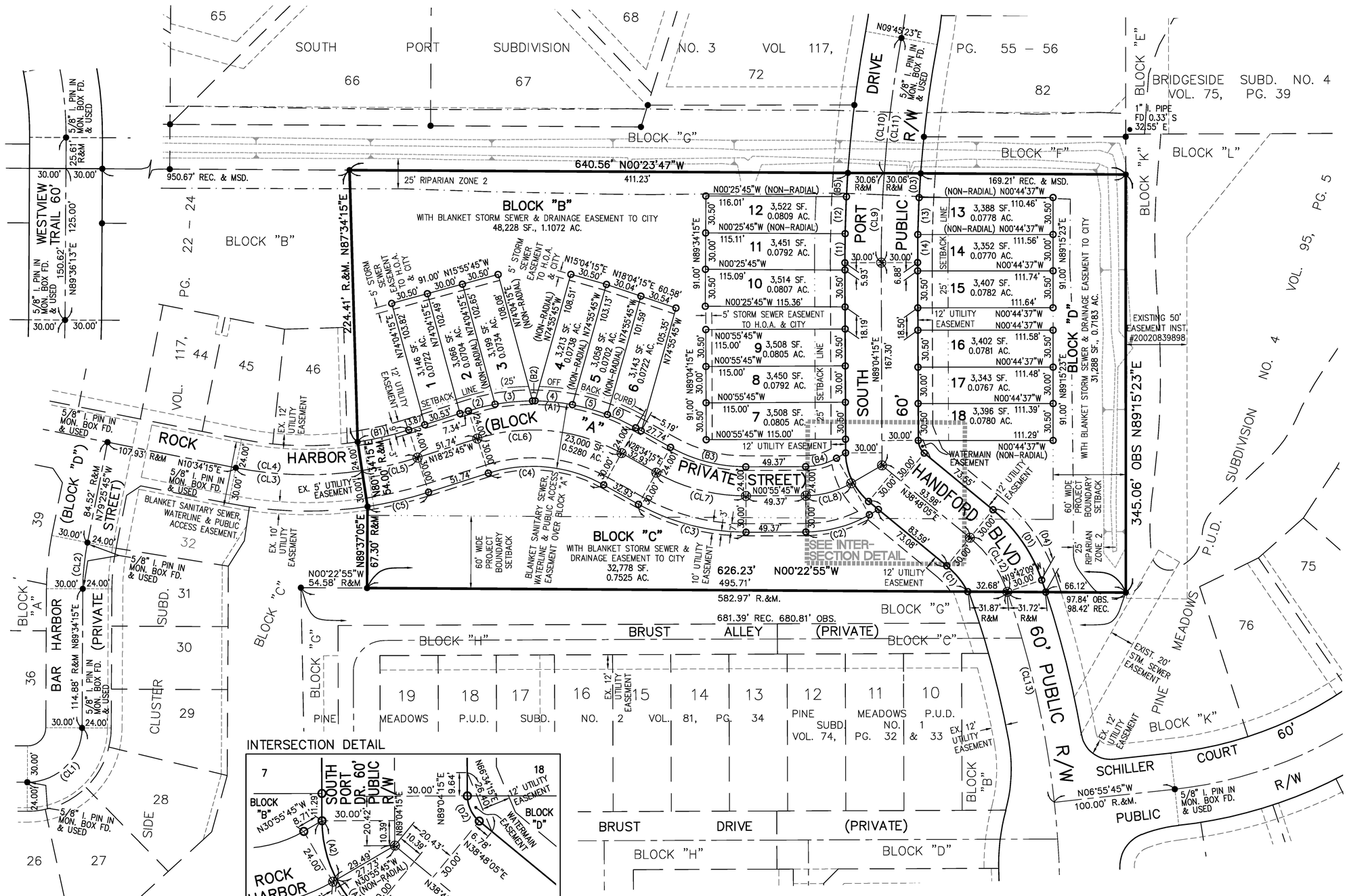
PORT SIDE TOWNHOUSE SUBDIVISION PLAT

THE HENRY G. REITZ ENGINEERING COMPANY
4214 ROCKY RIVER DRIVE, CLEVELAND, OH, 44135
PHONE: (216) 251–3033, REITZ@REITZENG.COM

MAY 2025

CURVE DATA TABLE

(CL1) R=45.00' D=90°00'00" L=70.69' C=63.64' R&M N45°25'45"W T=45.00'	(CL2) R=200.00' D=11°00'00" L=38.40' C=38.34' R&M N84°55'45"W T=19.26'	(CL3) R=300.00' D=20°00'00" L=104.72' C=104.19' R&M N00°34'15"E T=52.90'
(CL4) R=300.00' D=29°00'00" L=151.84' C=150.23' N03°55'45"W T=77.59'	(CL5) R=300.00' D=09°00'00" L=47.12' C=47.08' N13°55'45"W T=23.61'	(CL6) R=150.00' D=47°00'00" L=123.05' C=119.62' N05°04'15"E T=65.22'
(CL7) R=150.00' D=29°30'00" L=77.23' C=76.38' N13°49'15"E T=39.49'	(CL8) R=75.00' D=30°00'00" L=39.27' C=38.82' N15°55'45"W T=20.10'	(CL9) R=1000.00' D=04°14'14" L=73.95' C=73.94' N88°48'38"W T=36.99'
(CL10) R=1000.00' D=06°26'54" L=112.55' C=112.49' R&M N83°28'04"W T=56.33'	(CL11) R=1000.00' D=10°41'08" L=186.50' C=186.23' N85°35'11"W T=93.52'	(CL12) R=100.00' D=31°29'46" L=54.97' C=54.28' N54°32'58"E T=28.20'
(CL13) R=800.00' D=12°46'24" L=178.35' C=177.98' R&M N76°41'03"E T=89.55'	(A1) R=174.00' D=47°00'00" L=142.73' C=138.76' N05°04'15"E T=75.66'	(A2) R=52.15' D=27°43'10" L=25.23' C=24.98' N75°12'40"W T=12.87'
(A3) R=52.15' D=22°33'00" L=20.52' C=20.39' N50°04'35"E T=10.40'	(A4) R=52.15' D=50°16'10" L=45.75' C=44.30' N63°56'10"E T=24.47'	(B1) R=276.00' D=09°00'00" L=43.35' C=43.31' N13°55'45"W T=21.72'
(B2) R=174.00' D=00°42'40" L=2.16' C=2.16' N00°23'15"W T=1.08'	(B3) R=126.00' D=29°30'00" L=64.87' C=64.16' N13°49'15"E T=33.17'	(B4) R=51.00' D=30°00'00" L=26.70' C=26.40' N15°50'45"W T=13.67'
(B5) R=1030.00' D=01°05'34" L=19.64' C=19.64' N87°20'48"W T=9.82'	(C1) R=70.00' D=22°36'40" L=27.62' C=27.45' N50°06'25"E T=13.99'	(C2) R=105.00' D=30°00'00" L=54.98' C=54.35' N15°55'45"W T=28.13'
(C3) R=180.00' D=29°30'00" L=92.68' C=91.66' N13°49'15"E T=47.39'	(C4) R=120.00' D=47°00'00" L=98.44' C=95.70' N05°04'15"E T=52.18'	(C5) R=330.00' D=09°00'00" L=51.84' C=51.78' N13°55'45"W T=25.97'
(D1) R=130.00' D=31°29'46" L=71.46' C=70.57' N54°32'58"E T=36.66'	(D2) R=13.54' D=50°16'10" L=11.88' C=11.50' N63°56'10"E T=6.35'	(D3) R=970.00' D=01°11'00" L=20.03' C=20.03' N87°10'07"W T=10.02'
(D4) R=830.00' D=00°43'28" L=10.49' C=10.49' N70°39'35"W T=5.25'	(2) R=174.00' D=07°28'20" L=22.69' C=22.68' N14°41'35"W T=11.36'	(3) R=174.00' D=10°12'50" L=31.02' C=30.98' N05°51'00"W T=15.55'
(4) R=174.00' D=10°12'40" L=31.01' C=30.97' N05°04'25"E T=15.55'	(5) R=174.00' D=09°53'30" L=30.04' C=30.00' N15°07'30"E T=15.06'	(6) R=174.00' D=08°30'00" L=25.81' C=25.79' N24°19'15"E T=12.93'
(11) R=1030.00' D=01°20'20" L=24.07' C=24.07' N89°44'25"E T=12.04'	(12) R=1030.00' D=01°41'50" L=30.51' C=30.51' N88°44'30"W T=15.26'	(13) R=970.00' D=01°48'10" L=30.52' C=30.52' N88°39'42"W T=15.26'
(14) R=970.00' D=01°21'58" L=23.13' C=23.13' N89°45'14"E T=11.56'		



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